

PLANNING COMMITTEE REPORT
**Development Management Service
 Planning and Development Division
 Community Wealth Building Department**

PLANNING SUBCOMMITTEE B		
Date:	19 September 2023	NON-EXEMPT
Application number	P2022/2987/FUL	
Application type	Full Planning Application	
Ward	Clerkenwell	
Listed building	No	
Conservation area	- Conservation Area – Clerkenwell Green CA1	
Development Plan Context	<ul style="list-style-type: none"> - Core Strategy Key Area – Bunhill & Clerkenwell; - Archaeological Priority Area - Central Activity Zone (CAZ); - Employment Priority Area (General); - Finsbury Local Plan Area – Bunhill & Clerkenwell; - Article 4 Direction A1-A2 (Rest of Borough); - Article 4 Direction B1(c) to C3; - Heathrow Safeguarding Area. 	
Licensing Implications	No	
Site Address	29 Clerkenwell Road, London, EC1M 5RN	
Proposal	Partial demolition at roof level and to west elevation; the erection of a single roof extension for office accommodation (Class E(g)(i) Use) and external plant compound, erection of a side extension at first, second, third and fourth floor levels, installation of a new shopfront with the replacement of ground floor shopfront windows to Clerkenwell Road and lowering of front slab to allow accessible entrance and other associated works.	
Case Officer	Mark Heaney	
Applicant	Clare Hurford	
Agent	Mr Neil Gray, Gray Planning & Development Ltd	

1. RECOMMENDATION

The Committee is asked to resolve to **GRANT** planning permission subject to the conditions set out in Appendix 1.

2. SITE PLAN (site outlined in red)

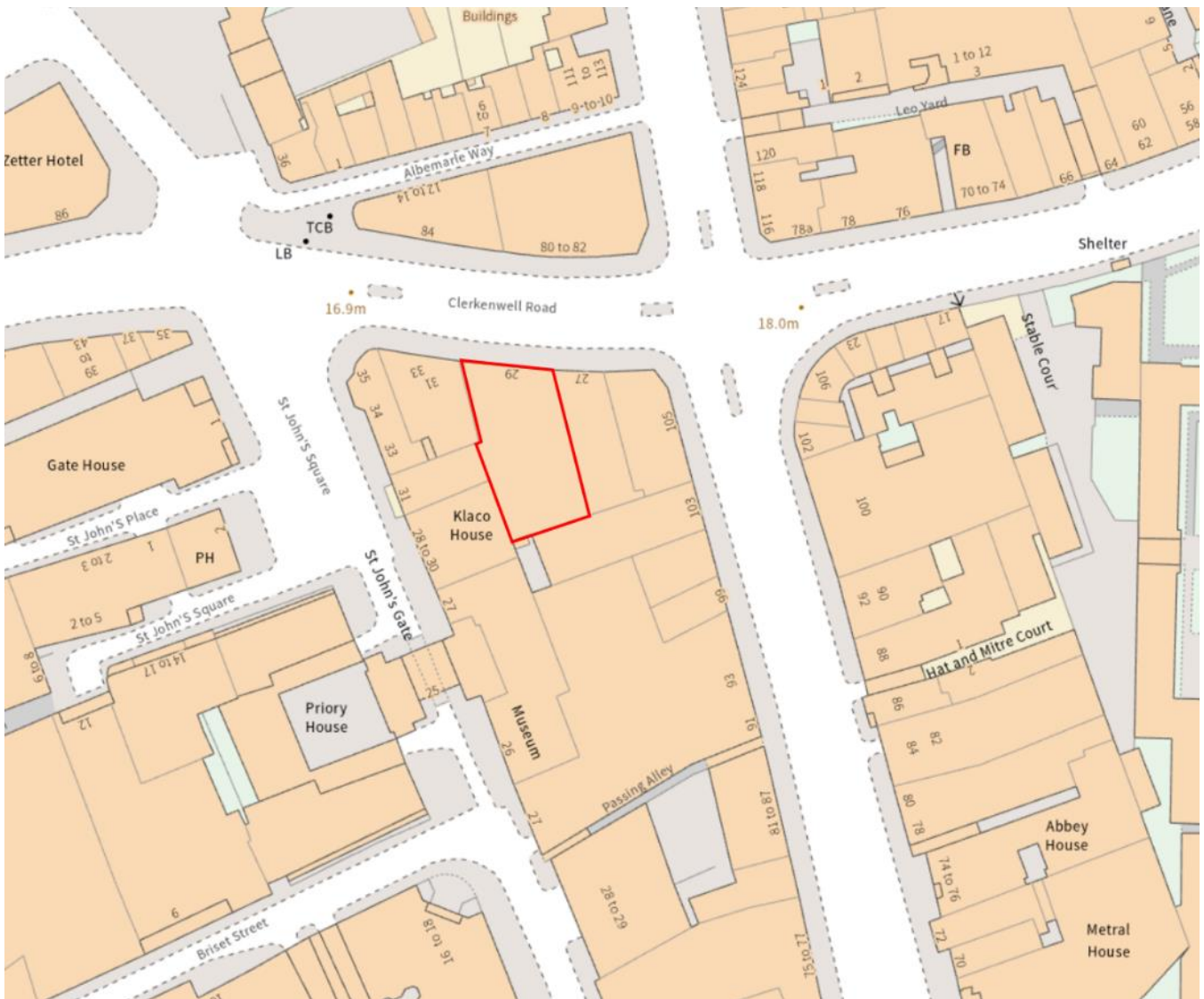


Image 1 – Site Location Plan

3. PHOTOS OF SITE/STREET



Image 2 - Street View of Site



**Image 3 - Street View of Site from outside
No. 78 Clerkenwell Road to the east.**



Image 4 - Street View of Site from outside No. 84 Clerkenwell Road to the north-west.



Image 5 - Aerial View of Site in Context



Image 6 - Aerial View of Site from the south

4. SUMMARY

- 4.1 This application seeks full planning permission to create a 5th floor roof extension together with rear/side extensions at first to fourth floor levels and the installation of a new shopfront and provision of an accessible entrance and replacement of shopfront windows and refurbish upper floor front windows. It is a redesign of a previous approved planning application ref. 2018/2646/FUL for a similar scheme that was not implemented.
- 4.2 The current scheme is a modification of the previously approved scheme which also included a new 5th floor roof extension and rear/side extensions at first to fourth floor levels together with installation of a new shopfront, alterations to provide an accessible entrance and replacement of shopfront windows and refurbish upper floor front windows. These previous extensions approved a 427sqm uplift in (B1 Use) office floor space now Class E(g)(i). However, the current proposals seek to provide an increase in the uplift of 553sqm in floorspace within the new extensions and provide it as Class E(g)(i) (Offices to carry out any operational or administrative functions). The roof extension would have a (GIA) floor area of 293sqm and the remaining uplift in floor space would be provided within the rear/side extensions at first to fourth floor levels.
- 4.3 The current design of the roof extension has changed from the previous approved curved design with a set back to its east side elevation adjacent to No. 27 Clerkenwell Road. It would now include a new east flank wall and would have an overall height increase of approx. 2m. This redesign follows on from pre-application (Q2021/2984/MIN) discussions with the Council and takes into account a 3 storey roof extension approved at No. 27 Clerkenwell Road (Ref: P2017/4659/FUL) which has expired and was not built out. The revised design of the roof extension with front roof terrace also now corresponds to the design of an approved roof extension with front terrace at No's 33-35 St John Square application ref. P2018/1671/FUL. The existing roof top plant would be set within a sunken roof top plant area above the roof of the fifth-floor extension. The revised plant area would now have an approx. 5m set back from the south boundary of the site to provide a buffer with the adjoining building of No. 103 St John Street.
- 4.4 The proposed floor plans show internal alterations to include provision of a cycle store, provision of new service core and lifts, relocated toilets and provision of new accessible toilets.
- 4.5 The proposal is considered to not have an unacceptable impact on the amenity of neighbouring properties in regard to impact on daylight and sunlight, sense of enclosure, outlook, privacy, overlooking, noise and light pollution, with a number of conditions recommended to mitigate any amenity and transport impacts. The proposal is considered to be acceptable, on balance, and it is recommended that the application be approved subject to conditions.

5. SITE AND SURROUNDINGS

1. The application site has a site area of approx. 381sqm and is located on the southern side of Clerkenwell Road and contains a five storey (plus basement and ground floor mezzanine) mid-terraced office building located. The site is located within the Bunhill & Clerkenwell Core Strategy Key Area, and the Finsbury Local Plan Area and lies within the Central Activities Zone. The existing building is occupied by approximately 2044 sqm of E(g)(i) Office space and is located within an Employment Priority Area (General).
2. The building is not locally nor statutorily listed, however it is located within the Clerkenwell Green Conservation Area. The application building adjoins No. 27 Clerkenwell Road to the east which is locally listed and is four storeys in height (appearing significantly shorter than the application site).
3. To the west, the application building adjoins 'Pennybank Chambers' No. 33 – 35 Clerkenwell Road which matches the height of the application building. The western flank of the site also adjoins No's 28-30 and 31 St John's Square.
4. To the south-east of the site is the St John's Gate, a Grade I listed building and No 27 St Johns Square a Grade II listed building.
5. The surrounding area is predominantly mixed use in nature including office, commercial and residential buildings.
6. The site has a PTAL rating of 6a (excellent) with a number of TfL bus routes operating from Clerkenwell Road and the site is located approx. 567m from Farrington Station to the south-west.

6. PROPOSAL

7. The proposals seek full planning permission for the erection of a single roof extension together with the installation of a rooftop external plant compound, erection of a rear/side extensions at first, second, third and fourth floor levels to allow for an all-round parapet wall at roof level, green roof and solar panels, installation of a new shopfront to include lowering of the front slab to allow accessible entrance and replacement of shop front windows to Clerkenwell Road together with associated internal works following partial demolition at roof level and to west elevation.
8. The additional floorspace would provide for new office accommodation (Class E(g)(i) Use (Offices to carry out any operational or administrative functions).
9. The application site has previously been granted planning permission for a roof extension and rear/side extensions at first, second, third and fourth floor levels under planning application ref. P2018/2646/FUL in 2019. However, that permission has not been implemented and has now expired. As shown in image 7 below, the existing building has a maximum height of 21.9m. The current scheme would increase the maximum height of the roof extension by approx. 2m when compared to the maximum height of 21.6m of the previous approved scheme. These height increases are shown in images 8 and 9 below. This height increase would allow the front of the roof extension to match the height of the existing adjoining roof extension and roof terrace at Pennybank Chambers No's 33-35 Clerkenwell Road (Ref: P2018/1671/FUL) as shown below.
10. The adjoining 3 storey locally listed building No. 27 Clerkenwell Road has also had planning permission previously approved for an additional 3 storeys (Ref: P2017/4659/FUL). The current proposal is therefore a design, height and massing response to those. The proposed materials palette for the roof extension utilises the palette used of Nos. 31-33 namely zinc roof panels with grey aluminium windows. Above the roof extension, a flat part of the roof with an area of approx. 85sqm would accommodate a green roof, with a central area of 22sqm accommodating solar panels. The rear part of the roof (approx. 70sqm) would accommodate a rooftop plant compound.
11. Other minor works proposed include alterations to the existing shopfront, by reinstating the original window design and refurbishing and repainting the existing upper floor timber sash windows.

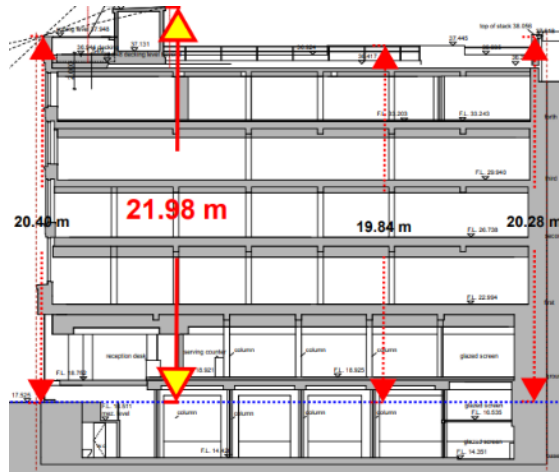


Image 7: Existing Section Plan

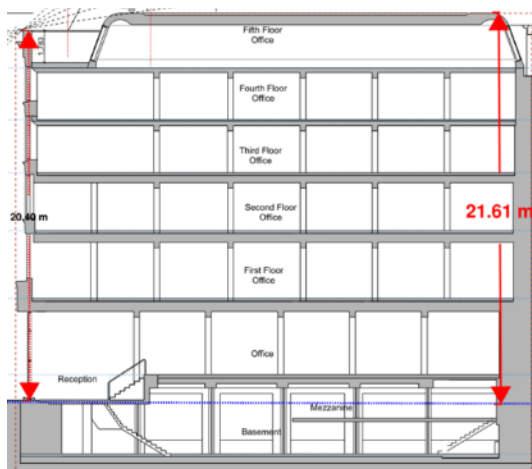


Image 8: Previous approved scheme 2018 (P2018/2646/FUL) now expired.

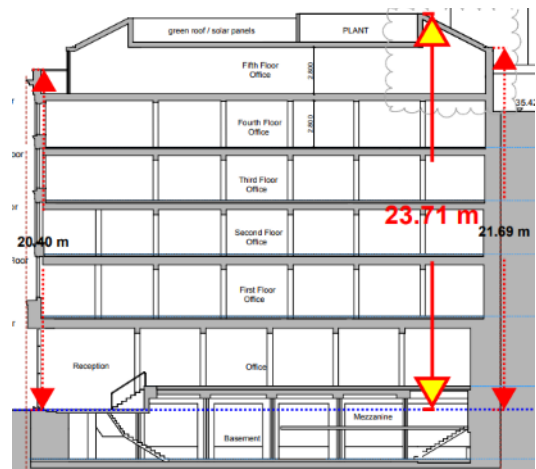


Image 9: Proposed Section Plan



Image 10: Previous approved scheme 2018 (P2018/2646/FUL) now expired.

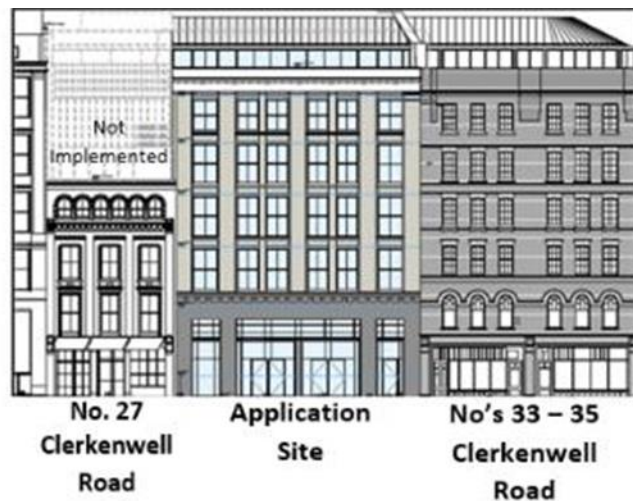


Image 11: Current proposal

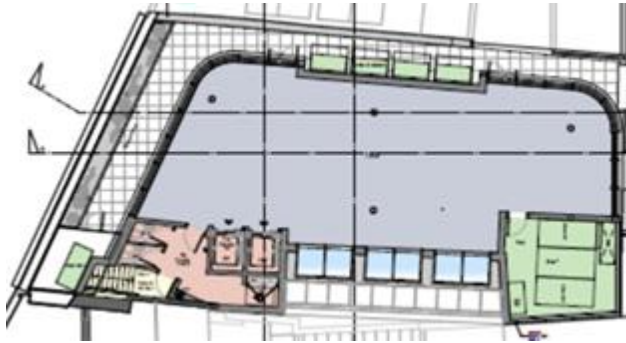


Image 12: Previous approved roof plan 2018 (P2018/2646/FUL) now expired.

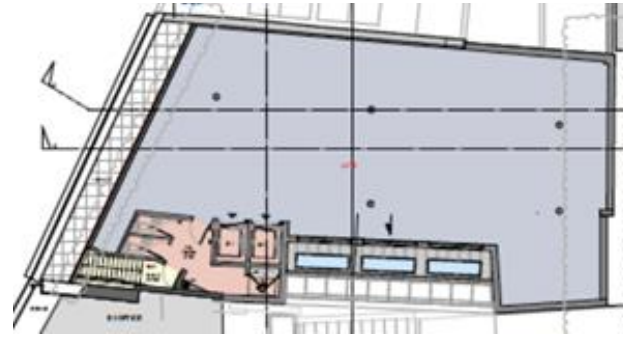


Image 13: Current proposed roof plan

Amendments

12. During the assessment of this application a fire safety statement has been provided and an updated daylight and sunlight assessment has been provided to take into account an update to the BRE Site layout planning for daylight and sunlight (2022) guidance.

7. RELEVANT HISTORY:

PLANNING APPLICATIONS:

Application Number	Development Description	Decision	Decision Date
P2018/2646/FUL	Partial demolition at roof level and the erection of a roof extension for office accommodation (B1 Use) plus terrace and external plant compound, erection of a side extension at first, second, third and fourth floor levels, installation of a new shopfront and replacement of windows to Clerkenwell Road and lowering of front slab to allow accessible entrance.	Approved	09/05/2019
P090753	Renewal of existing shopfront.	Approved	22/06/2009
P012522	Installation of three telecommunications antenna and associated equipment cabinets on the roof.	Approved	31/05/2002
P001036	Installation of a roof-top telecommunications facility comprising on 0.3m diameter radio transmission dish and associated minor works.	Approved	03/07/2000
P072691	Provision of new emergency standby generator.	Approved	18/12/2007
891094	Construction of fifth floor roof extension for ancillary office use (97sq.m). (subsequent appeal dismissed.)	Refused	29/08/1990

PRE-APPLICATION ADVICE

Ref: Q2021/2984/MIN	
Proposal	Officer advice summary:
Pre-application for the partial demolition at roof level and to west elevation; the erection of a single roof extension for office accommodation	In design terms as the site within the Clerkenwell Green Conservation Area and within the setting of listed buildings, any proposal is required to preserve the visual appearance and historic character of this heritage asset.

<p>(Class E Use) and external plant compound, erection of a side extension at first, second, third and fourth floor levels, installation of a new shopfront and replacement of windows to Clerkenwell Road and lowering of front slab to allow accessible entrance.</p>	<p>Whilst the host building has an extant permission for similar alterations, the proposal results in design changes to the approved extensions at roof level. However, these are changes are considered acceptable in design terms and are considered to preserve the visual appearance and historic character of the host building and wider heritage assets, and recommend the design in the proposed Option 1.</p> <p>The proposal should ensure that it demonstrates it would not have a detrimental impact in regards to amenity of the occupiers of neighbouring properties, in terms the loss of daylight/sunlight, outlook, sense of enclosure, noise and privacy.</p> <p>The proposal should demonstrate how they provide accessible accommodation, have acceptable fire safety and security measures, and adequate cycle and waste storage.</p>
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RELEVANT SURROUNDING PLANNING HISTORY

Application Number	Site Address	Development Description	Decision	Decision Date
P2020/1062/ FUL	Clerkenwell Workshop, 27-31 Clerkenwell Close	Installation of roof top plant equipment including the installation of 1 No. new enclosure and enlargement of existing 1 No. plant enclosure at roof level.	Approved	22/08/22
P2021/2519/ FUL	18-30 Clerkenwell Road	Installation of AC equipment to the rear elevation including 9 No. condensers within the lightwell at basement level, 3 No. louvres along the rear elevation at ground floor level, 2 No. louvres at first floor level and an acoustic canopy above the ground floor windows to first floor level, new ventilation louvres within rainscreen cladding on north elevation.	Approved	22/08/2022
P2017/2512/ FUL	33 - 35 St John's Square	The erection of a five storey rear extension from first floor level upwards to provide additional office accommodation (Class B1); extension to existing plant enclosure; new external plant area and external improvements to the facade and shopfronts.	Approved	08.05.2018
P2018/1671/ FUL	33-35 St John Square	The erection of a roof extension and rear extension from first floor level upwards to provide additional office accommodation (Class B1) including a plant enclosure and external improvements to the facade and shopfronts. In connection with the change of use of part ground and basement floors as a flexible/alternative use for either office (Class B1) or retail (Class A1) purposes and associated alterations.	Approved	01/05/2019
P2017/4659/ FUL	27 Clerkenwell Road	Erection of three storey extension to existing three storey (plus basement) host building at fourth, fifth and six floor levels and excavation at basement level to extend the existing floorplate to the rear of the building, and	Approved	04/10/2018

		lowering of floor to form a full height basement. Erection of a setback plant room at roof level above the new sixth floor. Proposed extensions resulting in an uplift of 632m ² floorspace. Change of use at basement to provide Class A3 café floor space and provision of bike store, refuse and recycle store. Change of use from Class A3 café floorspace to Class B1 office floorspace at first floor level; change of use from mixed Class B1 office floorspace and ancillary Class A3 floor space at second and third floors to provide Class B1 office floor space across both floors. Provision of Class B1 office floorspace at new fourth, fifth and six floors. Alterations to ground floor shopfront including installation of new double doors to provide access to the first sixth floors; reinstatement of the missing corbel and the missing sash window to the front elevation at third floor level; three storey contemporary extensions at fourth - sixth floors to be formed of glazing and Corten steel to comprise Class B1 floorspace with reinstatement of existing saw-tooth roof form at sixth floor.		
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CONSULTATION

Public Consultation

12. In total, 110 letters were sent to occupants of adjoining and nearby properties and a site notice was displayed on 24/11/2022 along with a press notice published in the Islington Gazette. The public consultation of the application therefore expired on 18/12/2022; however, it is the Council's practice to continue to consider representations made up until the date of a decision. At the time of the writing of this report, 5 letters of objections have been received raising points related to:
- The proposal sets a precedent in height in the conservation area.(responded to at para 31-54)
 - No assessment on the amenity impacts (including noise) on 103 John Street a residential neighbour.(responded to at para 61-85)
 - Overshadowing of neighbouring roof garden. (responded to at para 79)
 - Overlooking of neighbouring flats. (responded to at para 75-78)
 - Detrimental impact on the visual amenities of the conservation area. (responded to at para 31-60)
 - Inaccuracies in daylight sunlight report. (responded to at para 67)
 - The proposal would result in partial demolition of the historic fabric of the building. (responded to at para 55 -58)
 - The proposal would lead to further disturbance of neighbouring properties in terms of noise from roof top plant. (responded to at para 81-85)
 - Would have a detrimental impact on local bat habitats. (responded to at para 95 condition 14 part q)

Officer response- The material issues raised above are addressed within the relevant highlighted sections of this report below.

Internal Consultees

13. **Islington Inclusive Design Officer:** No objection subject to securing the following items:
- Non-compliant width of the corridor- plans must be updated to ensure at least 1200mm (without obstruction) is provided.
 - Larger lift that is fit for vertical circulation of cycles - this will be not actionable at condition stage. The LCDS specifies "To accommodate all types of cycle, lifts should have minimum

dimensions of 1.2 by 2.3 metres, with a minimum door opening of 1000mm, and any door to a cycle parking area should be automated - push button or pressure pad operated. Islington Policy refers to LCDS- these standards should be met.

- Sanitary provision- regarding the 5th floor: Part M Vol 2 5.7 b)
- It is not understood why the applicant is resisting alternating transfer sides for new accessible WC provision. This a Part M requirement: To clarify- all that is required here is to switch the side of the wall the WC is located closest to. Basement is to left, but all other floors are to the right. If someone's condition means they are stronger on the left-hand side, they would have to travel down to the basement. A snip from BS8300-2:2018 18.1.2 provided below for clarity on this:
- Secure the following by condition: sanitary provision, alternating transfer sides for accessible WC provision.

14. **Islington Acoustics Officer:** No objection subject to noise compliance conditions 6 and 7.

Islington Building Control: Fire Statement requires clarification. Condition 22 requires the submission of a further updated Fire Statement.

Officer comment: Further clarification has been provided and is discussed with the fire safety section below and Condition 22 has been added requesting a further updated Fire Statement.

Planning Policy: No objection, subject a condition (8) to restrict floorspace as office Class E(g)(i).

External consultees

15. **Health and Safety Executive** confirmed that the HSE is the statutory consultee for planning applications that involve or may involve a 'relevant building', which is defined as

- Contains two or more dwellings or educational accommodation and
- Meets the height condition of 18m or more in height, or 7 or more storeys

The HSE have confirmed that this building is deemed not to be a relevant building based on its proposed [office] use and as it does not contain any residential dwellings.

16. **Heritage England:** No comment

17. **Heritage England GLAAS:** confirmed no archaeological requirement

9. RELEVANT STATUTORY DUTIES & DEVELOPMENT PLAN CONSIDERATIONS & POLICIES

- 9.1 Islington Council (Planning Sub-Committee B), in determining the planning application has the following main statutory duties to perform:

- To have regard to the provisions of the development plan, so far as material to the application and to any other material considerations (Section 70 Town & Country Planning Act 1990);
- To determine the application in accordance with the development plan unless other material considerations indicate otherwise (Section 38(6) of the Planning and Compulsory Purchase Act 2004) (Note: that the relevant Development Plan is the London Plan and Islington's Local Plan, including adopted Supplementary Planning Guidance.) and;
- As the development is within close proximity to a conservation area, the Council also has a statutory duty in that special attention shall be paid to the desirability of preserving or enhancing the character or appearance of that area (s72(1) Planning (Listed Buildings and Conservation Areas) Act 1990).
- The development is also in close proximity to statutory listed heritage assets and therefore the Council has a statutory duty to pay special regard to the desirability of preserving these listed building(s), their setting and any of their features of special architectural or historic interest (s16(2) and s66(1) Planning (Listed Buildings and Conservation Areas) Act 1990).

- 9.2 National Planning Policy Framework (NPPF): Paragraph 10 states: “at the heart of the NPPF is a presumption in favour of sustainable development which should be seen as a golden thread running through both plan-making and decision-taking. For decision-taking this means: approving development proposals that accord with the development plan without delay.
- 9.3 At paragraph 8 the NPPF states: “that sustainable development has an economic, social and environmental role”.
- 9.4 Since March 2014 Planning Practice Guidance for England has been published online.
- 9.5 In considering the planning application account has to be taken of the statutory and policy framework, the documentation accompanying the application, and views of both statutory and non-statutory consultees.
- 9.6 The Human Rights Act 1998 incorporates the key articles of the European Convention on Human Rights into domestic law. These include:
- Article 1 of the First Protocol: Protection of property. Every natural or legal person is entitled to the peaceful enjoyment of his possessions. No one shall be deprived of his possessions except in the public interest and subject to the conditions provided for by law and by the general principles of international law.
 - Article 14: Prohibition of discrimination. The enjoyment of the rights and freedoms set forth in this Convention shall be secured without discrimination on any ground such as sex, race, colour, language, religion, political or other opinion, national or social origin, association with a national minority, property, birth, or other status.
- 9.7 Members of the Planning Sub-Committee B must be aware of the rights contained in the Convention (particularly those set out above) when making any Planning decisions. However, most Convention rights are not absolute and set out circumstances when an interference with a person's rights is permitted. Any interference with any of the rights contained in the Convention must be sanctioned by law and be aimed at pursuing a legitimate aim and must go no further than is necessary and be proportionate.
- 9.8 The Equality Act 2010 provides protection from discrimination in respect of certain protected characteristics, namely: age, disability, gender reassignment, pregnancy and maternity, race, religion or beliefs and sex and sexual orientation. It places the Council under a legal duty to have due regard to the advancement of equality in the exercise of its powers including planning powers. The Committee must be mindful of this duty inter alia when determining all planning applications. In particular, the Committee must pay due regard to the need to:
- (1) eliminate discrimination, harassment, victimisation and any other conduct that is prohibited by or under the Act;
 - (2) advance equality of opportunity between persons who share a relevant protected characteristic and persons who do not share it; and
 - (3) foster good relations between persons who share a relevant protected characteristic and persons who do not share it.

National Guidance

9. The National Planning Policy Framework 2021 seeks to secure positive growth in a way that effectively balances economic, environmental and social progress for this and future generations. The NPPF is a material consideration and has been considered as part of the assessment of these proposals.

Development Plan

10. The Development Plan is comprised of the London Plan 2021, Islington Core Strategy 2011 and Islington Development Management Policies 2013. The following policies of the Development Plan are considered relevant to this application:

Designations

9.11 The site has the following designations under the London Plan 2016, Islington Core Strategy 2011, Development Management Policies 2013, Finsbury Local Plan 2013 and Site Allocations 2013:

- Core Strategy Key Area – Bunhill & Clerkenwell;
- Conservation Area – Clerkenwell Green CA1
- Archaeological Priority Area
- Central Activity Zone (CAZ);
- Employment Priority Area (General);
- Finsbury Local Plan Area – Bunhill & Clerkenwell;
- Article 4 Direction A1-A2 (Rest of Borough);
- Article 4 Direction B1(c) to C3;
- Heathrow Safeguarding Area.

Emerging Development Plan Documents

Draft Islington Local Plan 2019

6.1 The council received the Inspectors report for the new Local Plan on 5th July 2023. The receipt of the Inspectors' final report has significant implications for determining planning applications. The National Planning Policy Framework (NPPF) allows Councils to give weight to emerging Local Plans according to their stage of preparation, the extent to which there are unresolved objections and the degree of consistency with the national policy. On the basis that the Council has received the Inspectors' final report, all objections have been considered and resolved and the Plan has been confirmed as sound and therefore compliant with national policy, almost full weight can be afforded to the new Local Plan, with policies given very significant weight in decision making.

6.2 In line with the NPPF, Local Planning Authorities may give weight to relevant policies in emerging plans according to:

- the stage of preparation of the emerging plan (the more advanced its preparation, the greater the weight that may be given);
- the extent to which there are unresolved objections to relevant policies (the less significant the unresolved objections, the greater the weight that may be given); and
- the degree of consistency of the relevant policies in the emerging plan to this Framework (the closer the policies in the emerging plan to the policies in the Framework, the greater the weight that may be given).

6.3 Emerging policies that are relevant to this application are listed below:

- Policy PLAN1: Site appraisal, design principles and process
- Policy SP1: Bunhill and Clerkenwell
- Policy B2 New business floorspace
- Policy G4 Biodiversity, landscape design and trees
- Policy G5 Green roofs and vertical greening
- Policy S1 Delivering Sustainable Design
- Policy S2 Sustainable Design and Construction
- Policy S3 Sustainable Design Standards
- Policy S4 Minimising greenhouse gas emissions
- Policy S5 Energy Infrastructure
- Policy S6 Managing heat risk
- Policy S7 Improving Air Quality
- Policy S9 Integrated Water Management and Sustainable Drainage
- Policy S10 Circular Economy and Adaptive Design
- Policy T2 Sustainable Transport Choices
- Policy T3 Car-free development
- Policy T5 Delivery, servicing and construction
- Policy DH1 Fostering innovation while protecting heritage
- Policy DH2 Heritage assets

- Policy DH3 Building heights
- Policy DH5 Agent-of-change, noise and vibration

10. ASSESSMENT

Issues

The main issues arising from this proposal relate to the:

- Land use;
- Conservation and Design;
- Neighbouring Amenity;
- Transport and Highways;
- Inclusive Design
- Sustainability;
- Refuse and Recycling;
- Community Infrastructure Levy (CIL)

Land use

11. The Islington Core Strategy (2011) identifies this site as being located within the Bunhill & Clerkenwell Key Area, and policy CS7 therefore applies to this development. The site is located within the Central Activities Zone (CAZ) as designated by London Plan policy SD4.
12. The Finsbury Local Plan (Area Action Plan for Bunhill and Clerkenwell) (2013) identifies this site as located within the Bunhill & Clerkenwell area framework and therefore Objective 5 and Policies BC5, BC7, BC8, BC9 and BC10 of the Finsbury Plan are relevant.
13. The Development Management Policies (2013) identify the site as being located within an Employment Priority Area (General). Therefore, policies DM5.1 and DM5.4 apply.
14. Draft Local Plan strategic policy SP1 aims to deliver 216,900sqm of new office space in this area over the plan period. This policy has key strategic priorities for this area and seeks to deliver growth in accordance with the policies within the Bunhill and Clerkenwell Area Action Plan (AAP).
15. The existing use of the building is office with an existing GIA of approx. 2,044sqm. The proposed development would result in an additional office floorspace of 553 sqm. The roof extension would have a (GIA) floor area of 293sqm and the remaining uplift in floor space would be provided within the side extensions at first to fourth floor levels. The Council policy encourages the intensification, renewal and modernisation of existing business floorspace within Employment Priority Areas and within the Bunhill & Clerkenwell Core Strategy Key Area.
16. Specifically, policy BC8 states that proposals should incorporate the maximum amount of business floorspace reasonably possible. A key issue here is whether the B1 floorspace has been maximised (BC8Aii) and optimised (BC8Ci) – this is particularly important in commercial offices.
17. Policy BC1 of the Bunhill and Clerkenwell Area Action Plan (Draft Local Plan Main Modifications Schedule) takes into account the change of use within Use Class E and advises the Council will impose conditions to ensure that office use is secured against change to other Class E uses. The AAP seeks to maximise office floorspace as far as possible part D of this policy does allow exceptions in limited circumstances to prioritise research and development space.
18. The proposal submitted would add an additional 553 sqm of floorspace at first, second, third, fourth and roof levels for use within Class E(g)(i) (Offices to carry out any operational or administrative functions). The provision of additional office floorspace is welcomed as Policy BC1 seeks to prioritise office space in this location. Furthermore, in order to comply with Draft Local Plan policy B3 and protect the existing and maximise new office floorspace, condition 8 would restrict the floorspace to be retained within Class E(g)(i) (Offices). This would correspond to the approved office use within the building and the Applicant has agreed to this condition in an email received 31/08/23.
19. Furthermore, the new office floorspace provided within the extensions allow a balance between maximising internal floorspace and ensuring accessibility and services within the building are satisfactory. The internal layout also allows for flexible design as such complying with policy DM5.1

which states that new office accommodation must be designed to allow for future flexibility for a range of uses, including future subdivision and/or amalgamation for a range of business accommodation, particularly for small businesses. The new office floorspace would help the Councils meet its target of providing 443,000sqm up to 2036 as set out in Draft Local Plan policy B1(C). It would also ensure compliance with Draft Local Plan policy B2(A)(i) by prioritising the intensification of a priority office use in the Bunhill and Clerkenwell AAP area.

20. The prioritisation of office space in this location therefore complies with the Council's strategic policies, Draft Local Plan policy SP1. It would, also comply with Policy AAP8 of the Bunhill and Clerkenwell Area Action Plan (AAP) which supports the enhancement of office functions within Historic Clerkenwell principally along the main commercial corridors.



Image 14: The site is located within 'Historic Clerkenwell Spatial Strategy area which is part of the wider Bunhill and Clerkenwell AAP area boundary.

21. Overall, subject to condition 8, the proposal would improve and maximise the internal office floorspace and the proposal would not be contrary to London Plan (2021) policies E1 and E2, Core Strategy Policy CS 13, Finsbury Local Plan (2013) policy BC8, DM Policy DM5.1, Policy BC1 of the Draft Bunhill and Clerkenwell Area Action Plan, Draft Local Plan policies BC1, BC2 and BC3 and SP1.

Design and Conservation

22. Policy CS9 of the Core Strategy 2011 and Policy DM2.1 of the Development Management Policies 2013 accord with the National Planning Policy Framework (NPPF) in seeking to sustain and enhance Islington's built environment. Taken together, they seek to ensure that proposed development responds positively to existing buildings, the streetscape and the wider context, including local architecture and character, surrounding heritage assets, and locally distinctive patterns of development.
23. Policy DM2.3 states that Islington's historic environment is an irreplaceable resource and the council will ensure that the borough's heritage assets are conserved and enhanced in a manner appropriate to their significance.
24. Draft Local Plan policy DH2 states that development within conservation areas and their settings – including alterations to existing buildings and new development - must conserve and enhance the significance of the area, and must be of a high quality contextual design.
25. Section 72(1) of the Planning (Listed Buildings and Conservation Areas) Act 1990 requires the Local Authority to pay special attention to the desirability of preserving or enhancing the character and appearance of Conservation Areas within their area. Section 66 (1) of the Planning (Listed Buildings and Conservation Areas) Act 1990 requires Local Authorities to have special regard to the desirability of preserving a listed building or its setting or any features of special architectural

interest which it possesses.

26. No. 29 Clerkenwell Road is an imposing 5 storey (plus basement and mezzanine) building sited within the Clerkenwell Green Conservation Area and within a historically significant part of the borough and within the wider setting of both the Grade I listed St John's gate and Priory Church of St John. The application building has double height entrance frontage and, whilst not locally listed, is considered to make a substantial positive to the conservation area which itself is considered to be of outstanding importance by virtue of its rich collection of Victorian, Georgian and earlier buildings and important open spaces.

Roof extension and associated works

27. The following paragraphs of the Clerkenwell Green Conservation Area Design Guidelines provide specific guidance on extensions:
28. Paragraph 1.20 states *'New buildings and roof extensions to existing buildings should conform to the height of the existing development in the immediate area.'*
29. Paragraph 1.21 notes that most buildings in the area are between three and five storeys in height. The guidance states that *'no new building or extension will be permitted above five storeys. All plant rooms and lift overruns should be located so as to be invisible from the street including long views from adjacent streets.'*
30. Paragraph 1.22 states *'roof extensions visible from the street or a public open space will not be granted where this is harmful to the character and appearance of the building.'*
31. Paragraph 1.23 states *'strong parapet lines and hidden roofs are characteristic of many properties in the area. These include terraces of Georgian houses in Sekforde Street, Woodbridge Street and Compton Street, but also Victorian and Edwardian or early 20th century commercial buildings throughout the area. It is considered that visible roof extensions can be detrimental to the simple verticality of these buildings and should be resisted. In these situations, applicants will need to demonstrate that set-back extensions are not visible from public spaces and streets. Roof terraces can be a way of achieving private amenity space, but should only be allowed where they are not visible from the street and do not cause problems of overlooking of neighbours.'*

Height, Bulk and Mass

32. Although, the proposed height of the roof extension would run contrary to paragraph 1.21 above and would be larger than the previously approved roof extension (Ref: P2018/2646/FUL). The proposed roof extension would be in-keeping with the height, bulk and design of the recently built roof extension adjoining at Nos.31-35 St John's Square (approved under reference P2018/1671/FUL). It would also be finished in materials to match detailed design of the adjoining roof extension. In this respect the proposed development would respond positively to the existing site context and intended future character of the area in terms of building lines, frontages, storey heights and massing.
33. Above its roof it would have a sunken area which would accommodate a solar panel array and green roof. These features are not objected to in terms of design as these elements would not be visible from public views and would be limited in private views, therefore they would not be dominating features in the skyline.

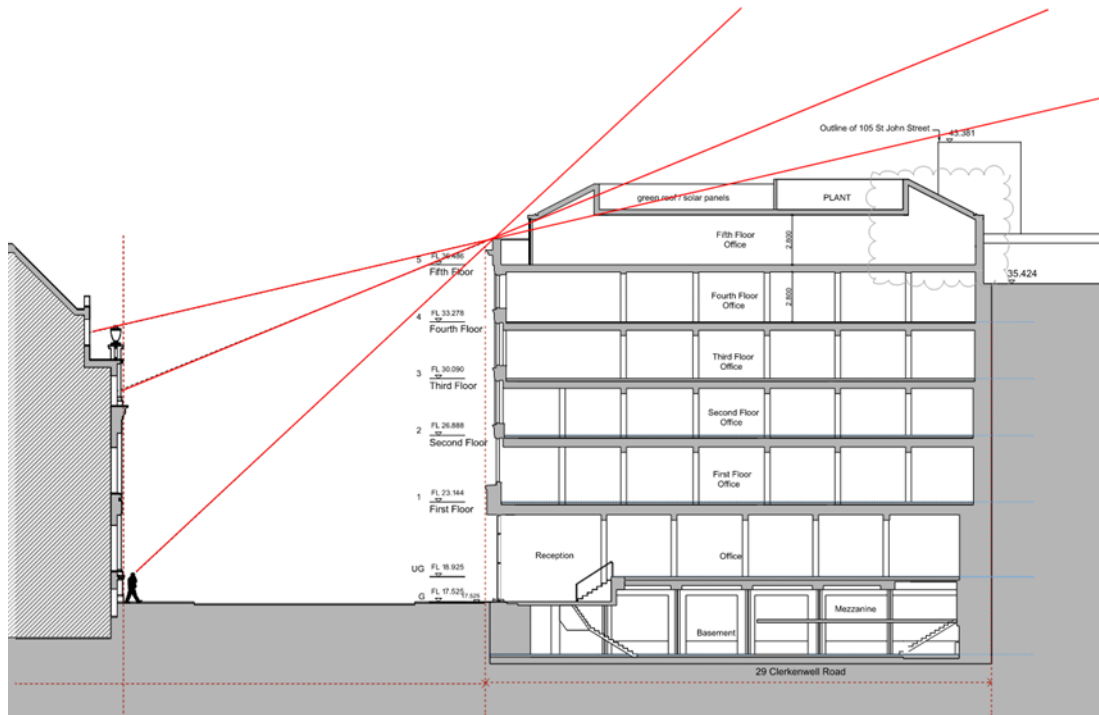


Image 15: Proposed Section Plan CC

34. The front of the proposed roof extension would be set back from Clerkenwell road by 1.2 metres to create a roof terrace to reciprocate the design of the adjoining roof terrace at Nos.31-35 St John’s Square. The roof would be gently sloped at a low pitch of 26 degrees to reduce sightlines from street level. The proposal would include the creation of a new parapet wall along the eastern boundary with No. 27 Clerkenwell Road. It is accepted that from limited views, this parapet wall may be visible from street level. However, this would only be visible from certain points along Clerkenwell Road and would contribute toward the future character of the area. In that there are aspirations to develop additional storeys above No. 27 (evident by the previous expired planning permission ref. P2017/4659/FUL) which is a material consideration. The proposed mansard design with its flank wall would appear of a more traditional design and reciprocate the design features of the adjoining mansard. This current design that includes parapet walls and has followed officer design guidance provided within pre-application Q2021/2984/MIN.



Image 16: Approved roof extension at No. 27 Clerkenwell Road which was not built out (Expired Consent Ref. P2017/4659/FUL).



Image 17: CGI image showing the 3 storey roof extension approved at No. 27 Clerkenwell Road (Ref: P2017/4659/FUL) which has expired and was not built out.

35. It is considered that given the building's mid terrace siting that a more uniform design with parapet walls on both sides would be more appropriate than a design that is set back from this boundary with No. 27 as previously approved (Ref: P2018/2646/FUL). This would create an attractive and well designed roof extension corresponding to the objectives of Draft Local Plan policy PLAN1 which subject to design seeks that all development must make efficient use of sites/buildings and also London Plan policy D3 which advises a design led approach to optimising site capacity.

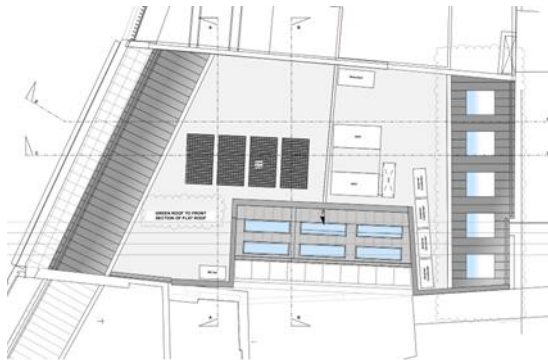


Image 18: Proposed roof plan



Image 19: Proposed east flank elevation

Local Views

36. The site is located within Local Views LV4 (View from Archway Road to St. Paul's Cathedral) and LV5: (View from Archway Bridge to St. Paul's Cathedral) and protected Vista VC1 (Alexandra

Palace viewing terrace to St Pauls). The host building has an existing maximum height of 21.98m and the proposed image below shows that the proposed height of approx. 23.71m would be consistent with heights along the terrace. Therefore it is not considered that the roof extension would be of a height or scale to impact on these local and strategic protected views.

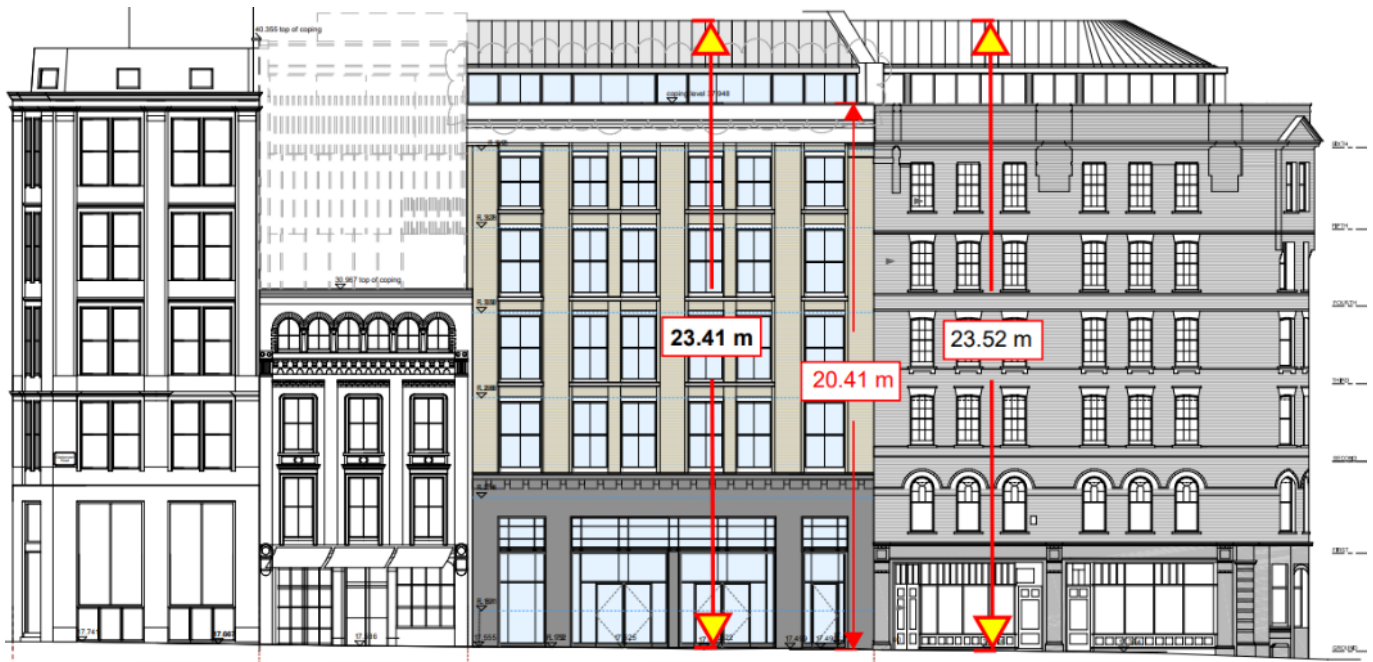


Image 20: Proposed front elevation showing adjoining height of No's 33-35 St Johns Square.

37. Furthermore, the existing site is located in an area of high density buildings which limits its visibility within the Clerkenwell Green Conservation Area. It is acknowledged that glimpses may remain in longer views from St John's Place and St John's Path to the west of the site, as a result of the gap in the roofline caused by the lower height of No. 28 St John's Square. However, due to the limited nature of these views, and distance from the site, the visual impact is minor and not considered harmful to the significance of the conservation area or that it would harm the setting of the listed buildings of 27 St Johns Square and St Johns Gate. The extension would appear as a mansard style addition and it would therefore not have an uncharacteristic appearance in glimpses of the roofline from surrounding sites in compliance with Draft LP policies DH1 and DH2.



Image 21: View from north-west from outside St John Priory Church St Johns Square

38. The rear elevation of the building includes a raised parapet wall with a low pitched section of zinc roof (27°) to give the appearance of a lead clad mansard. The parapet wall would be constructed

in stock bricks to match the existing building and this part of the roof extension would provide a buffer and screen the roof top plant. Public sightlines towards this corner of the site are limited by No. 28-30 St John's Square, and due to the detailed design and materials of the part of the extension it would create an attractive roofscape.

39. The proposed materials for the roof extension include lead coloured zinc cladding, graphite grey powder coated window frames, and yellow London stock brick for the external walls. These materials would match the character and appearance of the existing building and are considered to be acceptable. Condition 3 would be imposed to ensure the construction detailing and materials are acceptable.
40. A front roof terrace is also proposed set behind the 1.5m high parapet wall. It would have a floor area of approx. 29.5sqm. and would be similar in design to the adjoining front roof terrace at No's 33-35 Clerkenwell Road. The section plan below shows that it would not be visible from the street and is therefore considered to be acceptable. Condition 12 would ensure it is appropriately illuminated and to avoid light spill.



Image 13: Existing West Elevation

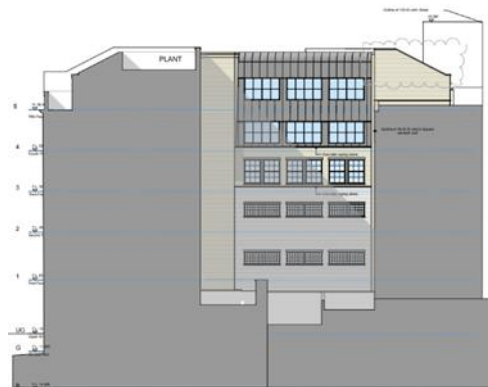


Image 14: Proposed West Elevation

Side/rear extension

41. As part of the proposal, on the western elevation of the building facing the internal courtyard between the host building and the rear of the neighbouring properties at nos. 28-30 and 31 St John's Gate, a proposed side extension is proposed at first, second, third and fourth floor levels.
42. As shown in images 12 and 13 above, the previous approved roof extension in 2018 had a gross internal area approx. 194sqm. The current proposed roof extension would provide an increase floorspace and provide a GIA of approx. 293sqm. As with the 2018 scheme, the remaining uplift in office floor space would be provided within the extensions at first, second, third and fourth floor levels. The current scheme would use a design led approach by taking account of planning permissions granted at neighbouring sites. The current design is considered to be sympathetic to its context and would optimise the site capacity and provide more office space in compliance with London Plan policy D3.
43. This area is currently built-out at ground floor level, while it remains open at the levels above, with the exception of a small external staircase at the south-west corner of the site. Where the side extension may be visible from public views given the lower height of No. 31 St John's Square, it would appear visually interesting and would not harm the relationship with surrounding buildings.
44. The side/rear extension would be constructed of yellow London stock brick with graphite grey powder coated windows, with concrete coping and window lintels. Overall, it is considered to be acceptable and would not cause harm to the character or appearance of the host building, the wider conservation area or setting of the listed buildings.

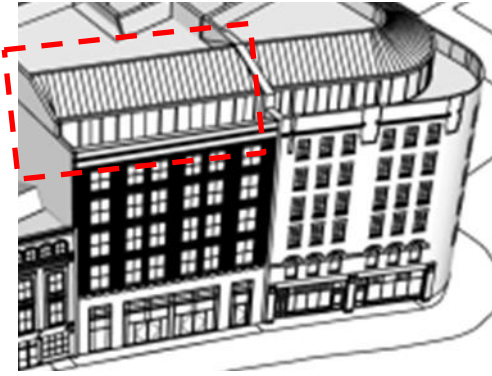


Image 15: Isometric view of proposed roof extension.

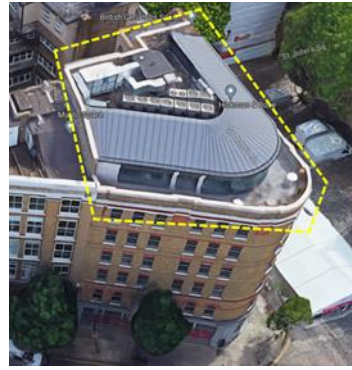


Image 16: Approved roof extension at No's 33-35 St John Square (ref. P2018/1671/FUL).

45. Overall, officers consider that the design and intent of No. 29 is a simply ordered, functional building with a hidden roof and these characteristics would remain unchanged following the introduction of the roof extension with associated plant and terrace. It's scale, bulk, height and massing would appear well proportioned with adequate detailing. The development would not harm visual amenity and would preserve the character and appearance of the surrounding conservation area.

Shopfront alterations

46. Paragraph 5.202 of the Urban Design Guide 2017 states that new or refurbished shopfront design should respect the local streetscene, the building as a whole and its design detail.
47. The proposal includes the replacement of the existing shopfront at the Clerkenwell Road elevation. The existing shopfront contains some art deco influences within the western bays, however the eastern part of the shopfront is modern in character.



Image 17: Pre-Existing Shopfront Circa 2008



Image 18: Existing Shopfront

48. The proposed alterations to the existing shopfront would make the current windows and spacers more uniform in size and design and is considered a planning gain in keeping with the historic character of the host building.

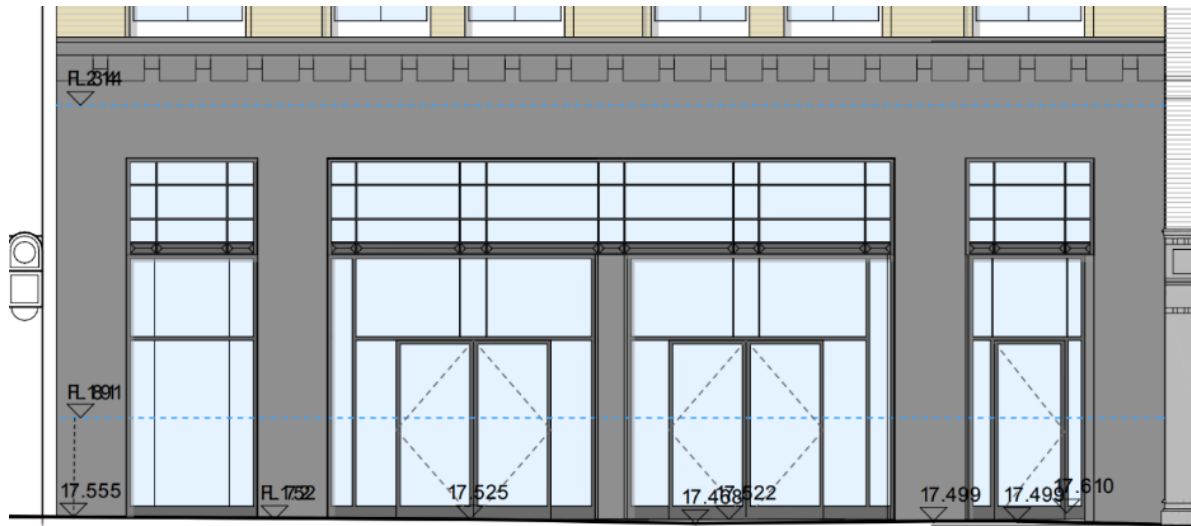


Image 19: Proposed shopfront

49. The proposed shopfront is considered to be an improvement when compared to the existing shopfront as shown above. It would have art deco features reintroduced to its fenestration and would have large generous entrance doors of good proportion and careful detailing. From historic street view imagery it appears that the new shopfront would reinstate the period detailing of an earlier shopfront. The proposed symmetrical design, detailing and general character is considered appropriate and is welcomed addition in the historic streetscene. The new shopfront is considered to represent a minor enhancement to the character and appearance of the Clerkenwell Green Conservation Area.

Design conclusion

In accordance with Section 72(1) of the Planning (Listed Buildings and Conservation Areas) Act 1990, in assessing the proposal hereby under consideration, the Local Authority has paid special attention to the desirability of preserving or enhancing the character and appearance of the Clerkenwell Green Conservation Area. In accordance with Sections 16(2) and 66 (1) of the Planning (Listed Buildings and Conservation Areas) Act 1990, in assessing the proposal hereby under consideration, the Local Planning Authority has had special regard to the desirability of preserving the setting of the adjacent statutorily listed buildings or any features of special architectural interest which they possess.

50. The positive contribution made by No. 29 Clerkenwell Road to the Clerkenwell Green Conservation Area arises from its architectural quality as an early C20 commercial building, including its scale, materials and articulation which are highly characteristic for the area. It also has historical value in illustrating how the area was developed from the late C19, following the construction of Clerkenwell Road, when larger commercial/industrial premises began to be built. The proposed roof and side extensions would have a high quality traditional design and would not result in the loss of these values and therefore make a positive contribution to the Conservation Area. Further to this, the proposed shopfront would reinstate historic features and make a positive contribution.

51. As such, the proposals are not considered to cause harm to the designated heritage assets in the context of paragraph 202 of the NPPF. However, should the decision maker consider that harm should arise then the proposals would bring economic benefits by increasing employment floorspace added to the building. The proposed design of the scheme would also preserve the character and appearance of the Clerkenwell Green Conservation Area would be preserved, as would the settings of nearby listed buildings. Therefore, the proposed development complies with the National Planning Policy Framework 2021, policies D1, D3 and D4 of the London Plan 2021, policies CS8 and CS9 of the Islington Core Strategy 2011, policies DM2.1 and DM2.3 of the Development Management Policies 2013 and Draft Local Plan policies PLAN1, DH1 and DH2. The development also adheres to the guidance in the Islington Urban Design Guide 2017 and the Clerkenwell Green (CA01) Conservation Area Design Guidelines.

Neighbouring Amenity

52. Policy DM2.1 states that development should not have an adverse impact on neighbouring amenity in terms of overshadowing, overlooking, privacy, direct sunlight and day light, over-dominance, sense of enclosure and outlook. Draft Local Plan policy PLAN1 requires development to provide a good level of amenity including consideration of noise and the impact of disturbance, hours of operation, vibration, pollution (such as air, light and noise), fumes between and within developments, overshadowing, overlooking, privacy, direct sunlight and daylight, over-dominance, sense of enclosure and outlook.
53. In general, for assessing the sunlight and daylight impact of new development on existing buildings, the Building Research Establishment (BRE) 'Site Layout planning for daylight and sunlight: a guide to good practice' (2022) provides the current best practice guidelines for which development is assessed against. In accordance with both local and national policies, consideration has also to be given to the context of the site, the more efficient and effective use of valuable urban land and the degree of material impact on neighbours.
54. BRE Guidelines paragraph 1.1 states: "People expect good natural lighting in their homes and in a wide range of non-domestic buildings. Daylight makes an interior look more attractive and interesting as well as providing light to work or read by. Access to skylight and sunlight helps make a building energy efficient; effective daylighting will reduce the need for electric light, while winter solar gain can meet some of the heating requirements".
55. Paragraph 1.6 states: "The guide is intended for building designers and their clients, consultants, and planning officials. The advice given here is not mandatory and the guide should not be seen as an instrument of planning policy; its aim is to help rather than constrain the designer. Although it gives numerical guidelines, these should be interpreted flexibly since natural lighting is only one of many factors in site layout design."
56. The application site is located in a dense urban location and there is a notable tightness in character between the site and the surrounding properties. The majority of immediately surrounding buildings are in commercial use with the notable exception of No. 103 St. John Street which contains six residential flats on the upper floor levels.

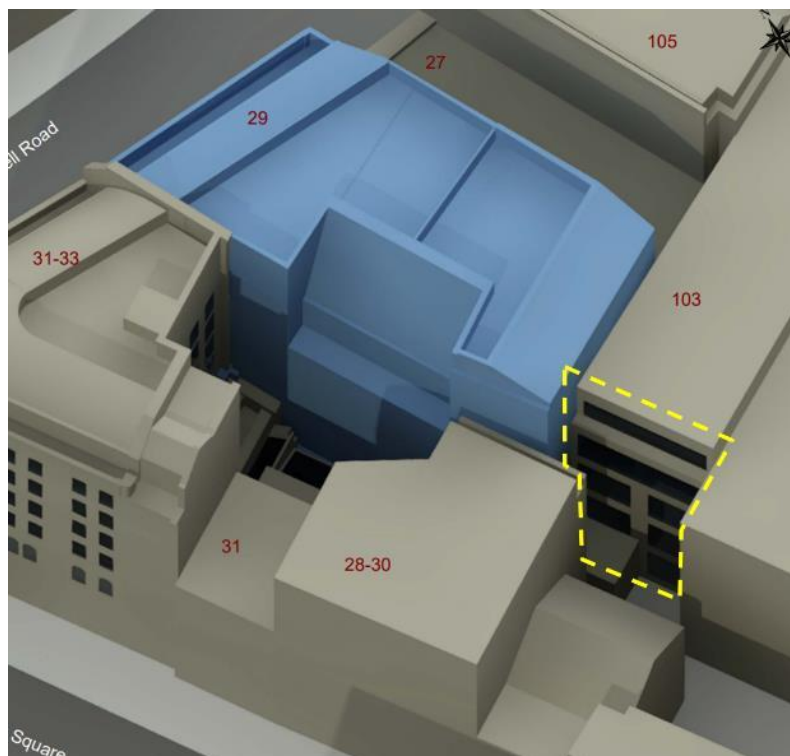


Image 20: Proposed extensions in context with No. 103 St John Street.

57. The application has been accompanied by a Daylight and Sunlight Assessment updated on the 16th of September 2022 in line with BRE (2022) guidance and carried out by Herrington Consulting Ltd, qualified professionals. The report assesses the impact of the proposal on daylight/sunlight to the rear facing windows of habitable rooms at No. 103 St John Street.
58. It is noted that within the objections received that raise issue with the accuracy of the report.

However, Officers have requested further clarification from the Applicants daylight and sunlight consultant regarding the methodology and assumptions reached within this report and now consider that this report is sufficient to allow officers to accurately assess the daylight and sunlight and overshadowing impacts of this scheme as assessed below.

Daylight

59. The daylight sunlight assessment calculates daylight impacts on No. 103 using the VSC and NSL. However, the NSL requires accurate floorplans for helpful results to be produced. In this case it was not possible to obtain detailed floor plans for the flats within No. 103 St Johns Street and the room dimensions assessed using NSL were estimated. In this case the daylight impacts were calculated using the VSC and these results are summarised below. Of the 7 windows assessed using the VSC, all 7 achieve a VSC value of 27% or 0.80 times their former value post development as is recommended by the BRE and the impact would be negligible. This is a very good result for an urban setting.

Window	VSC before proposal	VSC after proposal	Fraction of former value
W1 (ground)	3.87	3.69	0.95
W1 (First)	8.99	8.66	0.96
W2 (First)	9.31	8.62	0.93
W1 (Second)	15.29	14.82	0.97
W2 (Second)	14.36	13.16	0.92
W1 (Third)	23.60	22.32	0.95
W1 (Fourth)	34.22	32.31	0.94

Table 1: Summary of vertical sky component results

Sunlight:

60. The BRE Guidelines (2022) states at paragraph 3.2.1; “in designing a new development or extension to a building, care should be taken to safeguard the access to sunlight both for existing dwellings, and for any nearby non-domestic buildings where there is a particular requirement for sunlight. People are particularly likely to notice a loss of sunlight to their homes and if it is extensive then it will usually be resented
61. At paragraph 3.3.2 of the guidelines it states that ‘Obstruction to sunlight may become an issue if
- *Some part of a new development is situated within 90° of due south of a main window wall of an existing building*
 - *In the section drawn perpendicular to this existing window wall, the new development subtends an angle greater than 25° to the horizontal measured from the centre of the lowest window to a main living room.*
62. At paragraph 3.2.3 of the guidelines ‘it is suggested that all main living rooms of dwellings, and conservatories, should be checked if they have a window facing within 90 degrees of due south. Kitchens and bedrooms are less important, although care should be taken not to block too much sun’.
63. The daylight and sunlight assessment submitted by the applicant assesses sunlight impacts using the APSH. Of the 7 windows assessed at the rear of No. 103 St John Street which is located south of the proposed extensions, all windows passed the APSH test. Therefore, the proposed scheme would have a negligible impact on sunlight received to No. 103 St John Street.
64. No Daylight or Sunlight analysis has been conducted with regard to the adjoining and adjacent commercial office buildings as these uses do not fall under the assessment of current BRE Guidelines which recommend that they occupy the less well daylit areas of new developments.

Outlook and Sense of Enclosure

65. The proposed extensions and roof would be located adjacent to the rear elevation of the commercial office buildings fronting St John’s Square to the west, reducing the level of outlook towards the east from these buildings. However, it is noted that these largely comprise of open plan office floorspace. Therefore, it is not considered that the reduced outlook would cause undue harm to these neighbouring occupiers.

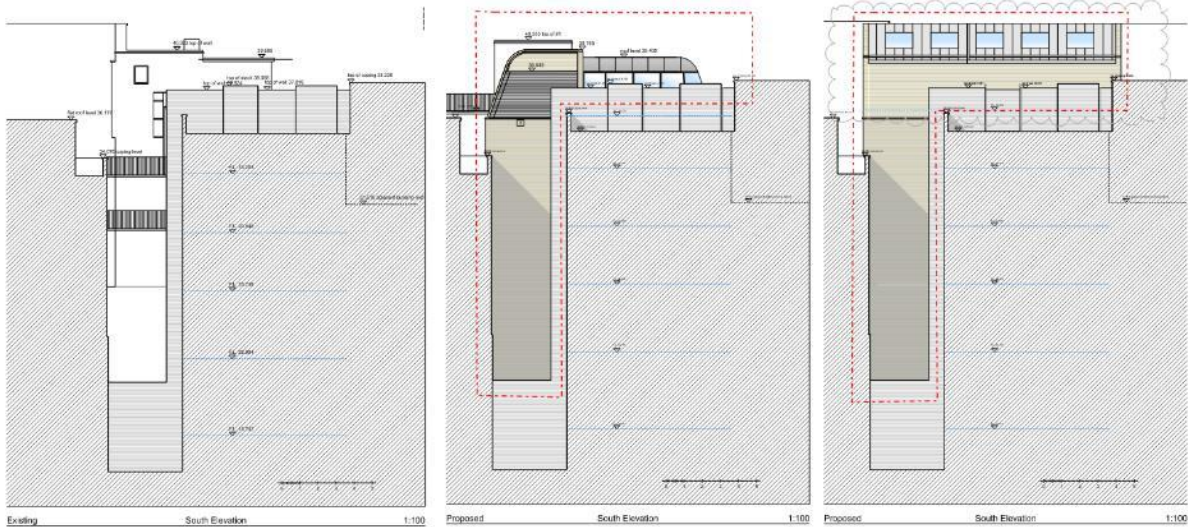


Image 21: Existing rear south elevation

Image 22: Previously approved rear south elevation (P2018/2646/FUL)

Image 23: Proposed rear south elevation

66. The proposed rear/side extensions at first to fourth floor and roof extension would be located adjacent to the rear windows of the residential flats within No. 103 St Johns Street. The above image shows that whilst there would be an increase in height and bulk when compared to the previous approved scheme, it is considered that the proposals would not have an unacceptable impact on the outlook from the rear windows of these flats or from the roof terrace above. Furthermore, as shown above, the existing outlook from the rear windows of these flats to the north is already restricted by the rear of the existing building which is set at a right angle from these windows. The additional height and bulk proposed within the current scheme is not considered to impact on the outlook of these flats or create a sense of enclosure that would warrant a refusal of the application.

Privacy and Overlooking

67. The proposed roof extension would be built up to the rear boundary with No. 103 but there is no rear roof terrace proposed and the proposed rooflights would be sloped upwards orientated towards the sky. Therefore, it is considered that the proposal would not result in any additional overlooking of the amenities of the residential flats within No. 103 St. John Street.
68. The proposed alterations to the existing west elevation windows and the proposed new windows on the extensions would have a similar size and design as previously approved as shown below.



Image 24: Existing side (west) elevation

Image 25: Previously approved side (west) elevation (P2018/2646/FUL)

Image 26: Proposed side (west) elevation

69. The west elevation windows of the side extension would allow outlook towards the rear of the buildings fronting St Johns Square to the west of the site. However, officers note that these are commercial office buildings and therefore the proposed new fenestration would not cause undue overlooking to neighbouring buildings. Given that this would be office-to-office overlooking, this would not warrant a reason for the refusal of the application.

70. The proposed new shopfront windows would face onto Clerkenwell Road and retain the existing active frontage of the shopfront within the streetscene which is acceptable. The upper floor front windows fronting Clerkenwell Road would be refurbished and would not be enlarged or repositioned. Their refurbishment would not create any additional amenity impacts over and above their existing position.

Overshadowing:

71. There is a roof garden located at the top of No. 103 St. John Street, as highlighted in green below. Whilst the BRE guidelines state that outdoor amenity spaces such as gardens and recreation areas should be assessed for overshadowing, this is not necessary in this instance, given that the amenity area is due south of the Site (as shown in the map highlighted below) and therefore would not be impacted by overshadowing caused by the proposed roof extension.

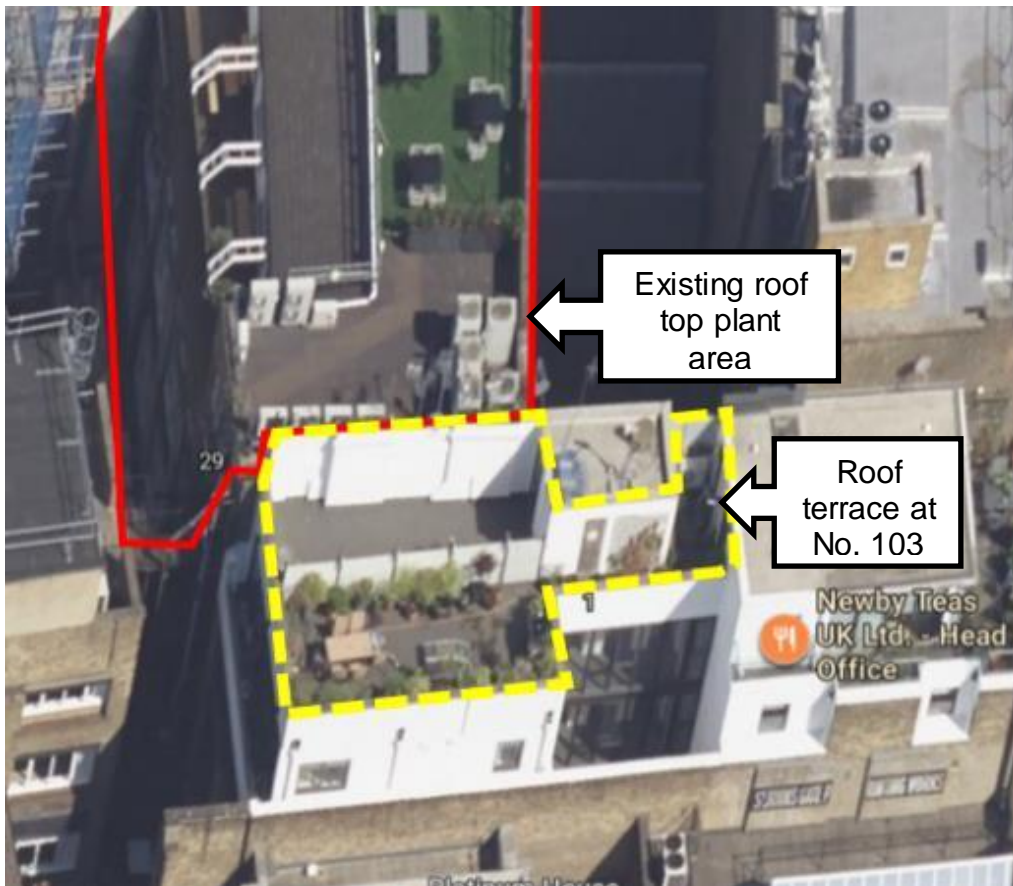


Image 27: Rear of Site (outlined in red) in context with roof terrace at No. 103 St John Street shown outlined in yellow.

Noise

72. The existing rooftop contains a significant amount of servicing plant and equipment. This plant is uncovered and is not subject to any noise attenuation measures. Much of the plant is located at the rear of the site, directly adjacent to the residential property at No. 103 St John Street.

73. The proposal includes the provision of a new plant area with 4 external air conditioning units and 2 AHU ventilation units located on the roof. It would be further set back in a visually inconspicuous location than the existing plant area as it would be set down within the roof which would also help mitigate noise impacts from the proposed plant equipment.



Image 28: Proposed plant area plan

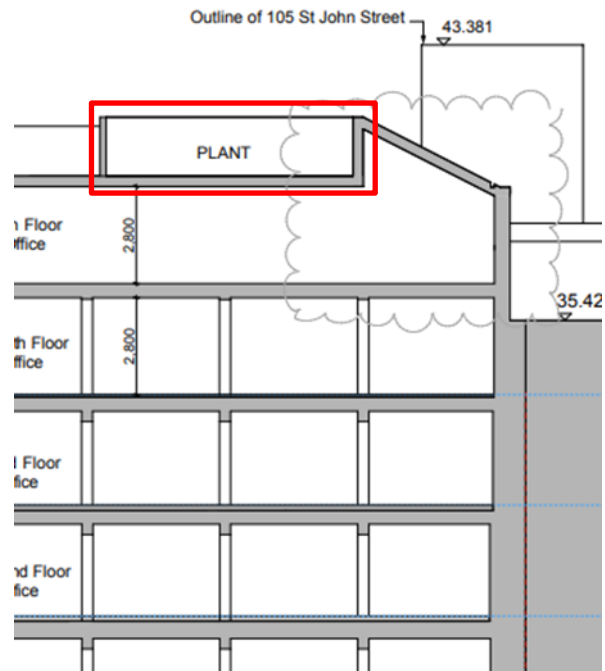


Image 29: Proposed plant area section plan showing sunken plant area.

74. The applicant has provided a noise impact assessment regarding the noise impacts from the proposed plant equipment which has been reviewed by the Councils Noise officer who has raised no objection to the proposal subject to conditions 6 and 7.
75. The recommended noise conditions 6 and 7 would control overall plant noise levels and to control hours of operation for the plant by requiring a timer to be installed limiting the operation of all plant to between the hours of 07:00 to 23:00 each day only and not be operated outside of these hours. Condition 6 would also ensure that the new plant is checked upon installation and regularly checked, maintained and serviced to ensure noise levels do not rise or acoustic character such as tonality, intermittency, impulsivity or other acoustic character develop over time.
76. Subject to these conditions it is not considered that the proposed service equipment would cause excessive noise disturbance to surrounding residential occupiers.

Conclusion on Amenity

77. Overall, the development proposed is concluded to not result in unacceptable adverse effects on the amenities of surrounding occupiers in terms of noise, privacy, having an overbearing effect, loss of outlook or sunlight/daylight reductions. A comprehensive Daylight and Sunlight Report has been submitted in support of the application that satisfactorily demonstrates that there will not be any adverse loss of light implications for surrounding occupiers. Where necessary, conditions have been included to control any potential effects that have been identified to ensure no negative effects to neighbouring amenity will be realised such as construction impacts, controlling plant noise and hours of use of the plant equipment. The development is therefore considered to comply with the relevant policies within the London Plan (2021), Islington Core Strategy (2011), Islington's Development Management Policies (2013) and Draft Local Plan (2019).

Sustainability

78. Policy DM7.1 part C of the Islington Development Management Policies states that Major developments, minor developments creating new residential and/or commercial units, and extensions of 100m² or greater, shall be accompanied by a Sustainable Design and Construction Statement (SDCS), including where relevant an Energy Statement. The SDCS shall clearly set out how the application complies with relevant sustainable design and construction policies and guidance. Policy DM7.2 seeks to ensure Energy efficiency and carbon reduction in minor schemes.

79. Draft Local Plan policy S3 requires all non-residential and mixed-use developments proposing 500sqm or more net additional floorspace are required to achieve a final (post-construction stage) certified rating of Excellent as part of a fully fitted assessment within BREEAM New Construction 2018 (or equivalent scheme), and must make reasonable endeavours to achieve an Outstanding rating. A 'verification stage' certification at post occupancy stage must also be achieved, unless it can be demonstrated that this is not feasible.
80. The applicant has submitted a Sustainable Design and Construction Statement by MMA Consulting Engineers which explored different measures to address carbon reduction and sustainability. In summary to achieve such sustainable measures in both the construction and use of the development, the following will be applied: implementation of sustainable systems for energy, water, and waste management as well as construction management. Furthermore, the statement also refers to measures during the occupation and use of the refurbished building.
81. The Sustainable Design and Construction Statement outlines how the development will achieve a 16% reduction in carbon savings when compared to an equivalent development constructed to compliance with Building Regulations Part L 2013. The submitted plans show that above the roof extension, a flat part of the roof with an area of approx. 85sqm would accommodate a green roof, with a central area of 22sqm accommodating a solar PV array.
82. Such measures are welcomed to ensuring the proposed development and its continued use would not contribute further towards carbon emissions and climate change and therefore is considered that subject to conditions 11 and 18 the scheme would comply with policies DM7.1 and DM7.2 of the Islington Development Management Policies 2013, Policy CS10 of the Core Strategy (2011) and Draft Local Plan policies S1, S2 and S3.

Flood Risk SUDS

83. Water efficiency has been considered in the Sustainability Statement but limited details on sustainable drainage have been provided. The applicant has confirmed that water attenuation will be provided in the form of a water consumption strategy. The Applicant states that rainwater and greywater harvesting on-site would be impractical. However given the large area of the roof extension proposed it is considered that further details beyond minimising water demand are required to ensure that surface water run-off is managed as close to its source as possible to prevent flood risk elsewhere in the Borough in accordance with the guidance within Draft Local Plan policies S8 and S9 and London plan policies SI 12 and SI 13.
84. Given the lack of detail provided at this stage and insufficient justification as to why rainwater recycling is not feasible or practical to comply with Council policies, a SUDS condition (C19) is advised to ensure the development will incorporate sufficient water Management measures.

Biodiversity

85. As stated above a green roof is proposed to the front part of the roof extension. However limited details have been provided in terms of its detailed design, depth and substrate. Draft Local Plan policy G5 requires the green roof to have an extensive substrate of 80-150mm. A cross section is required to illustrate this as well as confirmation that the roof is biodiversity-based with seed mix focussed on wildflower planting with no more than 25% sedum. Condition 11 is advised for these details to be provided post consent to ensure the green roof maximises its biodiversity benefits. This condition would also seek the applicant to maximise bio-diversity benefits and explore opportunity to provide a brown roof on the rear part of the roof around the service equipment area.
86. The NPPF (Ch 15), London Plan policy G6(B)(4) and Draft Local Plan policy G4 requires development to achieve bio-diversity net gain and seek opportunities to create new habitats. Noting the objections received above, which raise concerns about bat habitats in the immediate area, it is considered that condition 17 would ensure some incorporation of artificial nest boxes bricks provide nesting and roosting opportunities for birds, including species under threat such as swifts, house martins, swallows and house sparrows, and where appropriate, bats. Furthermore, Condition 14 part q would require a bat survey. These conditions would ensure these ecological benefits are incorporated into the development with the full details provided and approved post consent.

Air Quality

87. London Plan Policy SI1 2 (d) requires development proposals should ensure that where emissions need to be reduced to meet the requirements of Air Quality Neutral or to make the impact of development on local air quality acceptable, this is done on-site. Where it can be demonstrated

that emissions cannot be further reduced by on-site measures, off-site measures to improve local air quality may be acceptable, provided that equivalent air quality benefits can be demonstrated within the area affected by the development.

88. Furthermore, Draft Local Plan policy requires development proposals, particularly major developments or any other site which may cause disruption during its construction - must adhere to best practice construction techniques to limit impacts on air quality and reduce noise and vibrations from construction and the transportation of construction waste. Information must be provided to identify and mitigate impacts, including a Construction Logistics Plan.
89. As the site is located within the Central Activities Zone, a condition would ensure that all non road-mobile machinery (NRMM) used in the demolition and construction phase is compliant with the NRMM Low Emission Zone requirements and a Method of Construction Statement is submitted providing details of dust mitigation to ensure that air quality is not adversely affected during the demolition and construction phase of the development.
90. Subject to conditions 14 and 15, the development would not be contrary to London Plan Policy SI1, the Mayor's SPG The Control of Dust and Emissions During Construction and Demolition and Draft Local Plan policies T5 and S7.

Circular Economy

91. Certain circular economy points have been highlighted in the submitted Sustainability Statement. Emerging Policy S10 Part C requires a minimum 10% of the total value of materials used in the construction of minor developments must derive from recycled and re-used content in the products and materials selected. As this policy is now given significant weight in decision making condition (11) would require an Adaptive Design Strategy as part of an updated Sustainable Design and Construction Statement to ensure compliance with Draft Policy S10.

Highways and Transportation

Accessibility:

92. The alterations to the shopfront would provide an accessible entrance from the public realm which would ensure convenient access and meet the needs of disabled people in accordance with Draft Local plan policy DH7(a).
93. The submitted transport statement states that it is estimated that the additional floorspace would accommodate approx. 18-27 additional workers, whilst the application form states that additional staff would increase by 75. It is considered that in an area with such a high PTAL rating an additional 75 staff could be accommodated and would have no unacceptable impact on the existing public transport network.

Cycle Parking:

94. Provision of secure, sheltered and appropriately located cycle parking facilities is required in accordance with London Plan Policy T5 and the London Cycling Design Standards as well as by policy DM8.4 and Appendix 6 of the Development Management Policies 2013. For E(g)(i) office floorspace in this location 1No. cycle parking space is required per 75 sqm of floorspace. The proposal includes the provision of an additional 553 sqm of E(g)(i) office floorspace, and therefore in this instance an additional 7No. additional cycle parking spaces are required.
95. The application includes the provision of 26 No. cycle parking spaces at mezzanine level. The proposal also includes the provision of end-of-trip facilities, including lockers, and shower facilities which is welcomed. Condition 10 would ensure the design and layout of the cycle parking fully corresponds with the guidance within the London Cycling Design Standards.

Car Parking:

96. The application site has a PTAL rating of 6a (excellent) and the development does not propose any onsite parking.
97. In accordance with policy T6.2 of the London Plan, policy CS10(H) of the Core Strategy, policy DM8.5 of the Development Management Policies and Draft Local Plan policy T3 (with the exception of car parking for disabled users), the proposed development would be 'car free'. Staff would be restricted from apply for business on-street parking permits.

Refuse and recycling:

98. The proposals would not alter the existing refuse and recycling arrangements that are in place and the submitted plans show that the internal reconfiguration would retain a refuse store within the basement level.

Construction:

99. Limited information has been submitted to demonstrate that the development during its demolition and construction phases would not impact on highway safety, traffic flows, congestion of the road network or footway space.

100. As the site is in an area of high density buildings with no rear access and the main access being from Clerkenwell Road which is a London local bus route. A condition 14 would be imposed to require a Construction Management Plan to identify and mitigate impacts and ensure that there is no disruption during demolition and construction phase commensurate to the scale of development in accordance with Draft Local Plan policy T5(G) and London Plan policy T7(K).

Inclusive Design

101. Policy D5 of the London Plan 2021 requires all new development to achieve the highest standards of accessible and inclusive design and meet the changing needs of Londoners over their lifetimes. These aims are reflected in Policy DM2.2 of the Islington Development Management Policies 2013, which requires all development to demonstrate, inter alia, that they produce places and spaces that are convenient and enjoyable to use for everyone and bring together the design and management of development from the outset and over its lifetime. Policy DH1 (part C) of the emerging Local Plan outlines that all developments must be designed to be inclusive, which should ensure 'ease of use' and versatility.

102. The current proposal would represent changes at ground floor level and at significant increase in office floorspace at roof level. The Inclusive Design officer has reviewed the application and is broadly supportive of the proposal but has raised some concerns with regards the width of lift to accommodate cycle transport, sanitary provision at 5th floor, transfer sides for the new accessible WC provision. It is considered that these points can be adequately addressed by way of planning pre-commencement condition 13 and that overall the scheme presented can achieve accessible and inclusive design. Furthermore, separate to planning controls, the scheme would also have to achieve compliance with the Building Control regulations approved document Part M.

103. Given the approaches taken to improve accessibility for all users, the proposed development is considered to comply with policy D5 of the London Plan 2021, policy DM2.2 of the Islington Development Management Policies 2013 and Draft Local Plan policies DH7(A) and PLAN1.

Fire Safety

104. Part B of the London Plan policy D12 states that '*In the interests of fire safety and to ensure the safety of all building users, all development proposals must achieve the highest standards of fire safety and ensure that they:*

- 1) *identify suitably positioned unobstructed outside space:*
 - a) *for fire appliances to be positioned on*
 - b) *appropriate for use as an evacuation assembly point*
- 2) *are designed to incorporate appropriate features which reduce the risk to life and the risk of serious injury in the event of a fire; including appropriate fire alarm systems and passive and active fire safety measures*
- 3) *are constructed in an appropriate way to minimise the risk of fire spread*
- 4) *provide suitable and convenient means of escape, and associated evacuation strategy for all building users*
- 5) *develop a robust strategy for evacuation which can be periodically updated and published, and which all building users can have confidence in.*
- 6) *provide suitable access and equipment for firefighting which is appropriate for the size and use of the development'.*

105. Development proposals should contribute to the minimisation of potential physical risks, including those arising as a result of fire.

106. The Health and Safety Executive were consulted with as part of the application process and

have confirmed that the building is not a 'relevant building' as building not over 18 metres from the ground to the top floor finished floor level.

107. In order to be compliant with Policy D12, the applicant has submitted a Fire Statement which has been reviewed by the Council's Building Control Team who required additional information regarding the proposed fire strategy. The applicant has since provided further information to regarding the Building Control officers queries. Officers consider that an appropriate condition 22 would ensure that the development would meet the highest standard of fire safety in compliance with policy D12 of the London Plan (2021).

Community Infrastructure Levy

108. The proposed development is located within CIL Zone 1 would be liable for both the Mayoral and Islington CIL. The charge is Mayoral CIL is £50 per sqm and Islington CIL is £80 per sqm.

SUMMARY AND CONCLUSION

109. The overall design of the extensions and refurbishment of the buildings is acceptable and represents a high standard of design that is supported, in accordance with DM2.1. Furthermore, it is concluded that the development will not detrimentally impact the adjoining locally listed building nor the setting of the nearby Grade I and II listed buildings or would harm the surrounding Clerkenwell Green Conservation area and therefore the development would not be contrary to paragraph 202 of the NPPF and accords with the heritage conservation principles of LP policy HC1, DM policy DM2.3 and Draft LP policies DH1 and DH2.
110. The development would not unacceptably impact the amenities of surrounding residents and conditions are advised to ensure disturbance from the construction phase of the development would be minimised as much as possible. In relation to demolition and construction phase further details of mitigation measures to reduce amenity, air quality and highways would be secured by condition.
111. Full details of sustainable design features such as a green roof, SUDs and rainwater recycling and further ecological benefits have been secured via condition such as nest boxes/bricks.
112. The development includes a significant amount of cycle parking in compliance with London Plan standards for the additional floor space proposed. End of trip facilities, accessible cycle spaces and visitor spaces are also proposed. The internal refurbishment of communal areas building will also bring the building up to modern standards in relation to accessibility and inclusive design.
113. In terms of daylight/sunlight the submitted Daylight and Sunlight Report has identified that the reduction in daylight and sunlight would have negligible impacts and unlikely to be noticeable to the adjacent residential occupiers within No. 103 and the scheme would overall comply with BRE Guidelines. The proposal is considered to have an acceptable impact on the amenity impact on neighbouring properties in regards to sense of enclosure, noise, privacy, overlooking, and light pollution, with a number of conditions recommended to mitigate any amenity and transport impacts. Planning conditions would also ensure that the final construction detailing and external materials are acceptable and the scheme is built out achieve bio-diversity net gain proportionate to its size and incorporate sustainability measures including sustainable drainage to achieve water use efficiency.
114. In accordance with the above assessment, it is considered that the proposed development is consistent with the policies of the National Planning Policy, the London Plan, the Islington Core Strategy, Islington Development Plan, Draft Local Plan and associated Supplementary Planning Documents and should be approved accordingly.

CONCLUSION

115. It is recommended that planning permission be granted subject to conditions and legal obligations as set out in Appendix 1 – Recommendations.

APPENDIX 1 – RECOMMENDATION

RECOMMENDATION A

That the grant of planning permission be subject to **conditions** to secure the following, and that there is delegated to each of the following: the Head of Development Management, the Team Leader Major Applications and the Team Leader Planning Applications to make minor changes (additions removals or amendments) to the conditions:

List of Conditions:

1	<p>Implementation Period</p> <p>3 YEAR CONSENT PERIOD: The development hereby permitted shall be begun not later than the expiration of three years from the date of this permission.</p> <p>REASON: To comply with the provisions of Section 91(1)(a) of the Town and Country Planning Act 1990 as amended by the Planning and Compulsory Purchase Act 2004 (Chapter 5).</p>
2	<p>Approved plans list</p> <p>DRAWING AND DOCUMENT NUMBERS: The development hereby approved shall be carried out in accordance with the following approved plans:</p> <p>Site Location Plan EX (PL) 000; Existing Street Elevation EX (PL) 014; Existing North Elevation EX (PL) 09; Existing West Elevation EX (PL) 010, Existing East & South Elevation EX (PL) 011; Existing Section AA & BB EX (PL) 012; Existing Section CC EX (PL) 013; Existing Plan - Roof EX (PL) 008; Existing Plan - Basement EX (PL) 001; Existing Plan - Basement Mez EX (PL) 002; Existing Plan - Ground Floor EX (PL) 003; Existing Plan - First Floor EX (PL) 004; Existing Plan - Second Floor EX (PL) 005; Existing Plan - Third Floor EX (PL) 006; Existing Plan - Fourth Floor EX (PL) 007; Proposed Street Elevation PR (PL) 214 Rev A; Proposed East & South Elevation PR (PL) 211 Rev A; Proposed West Elevation PR (PL) 210 Rev A; Proposed North Elevation PR (PL) 209 Rev A; Proposed Section AA & BB PR (PL) 212; Proposed Section CC PR (PL) 213 Rev A; Proposed Plan – Basement PR (PL) 200; Proposed Plan - Ground Floor PR (PL) 202; Proposed Plan – Mezzanine PR (PL) 201; Proposed Plan - First Floor PR (PL) 203; Proposed Plan - Second Floor PR (PL) 204; Proposed Plan - Third Floor : PR (PL) 205; Proposed Plan - Fourth Floor PR (PL) 206; Proposed Plan - Fifth Floor PR (PL) 207 Rev A; Proposed Plan - Roof PR (PL) 208 Rev A; Daylight and Sunlight Assessment Rev 03 dated 16 Sept 2022; Herrington Consulting Ltd Letter kc/1440/14742 dated 16/09/22; Design and Access Statement ref. VMM1250_DAS_(R1_JMJC) dated June 2022; Salus Fire safety statement ref 508459 dated 26th June 2022; Heritage Impact Assessment dated May 2022; KP Acoustics Planning Compliance Report ref. 25325.PCR.01 dated 11/11/2022; Planning Statement ref 2017_42 dated July 2022; Structural Report 150626 Rev1 dated 22/05/22; Sustainable Design and Construction Statement 6106-MMA-XX-ZZ-RP-MEPH-ES-01 Rev01 dated 24/06/22; Transport Statement dated June 2022, 2 x Emails from Agent dated 31/08/23 and 01/09/23 clarifying daylight sunlight report methodology, Email from Agent dated 31/08/23 confirming agreement to CLASS E(g)(i) office use compliance condition, Email from Agent dated 31/08/23 regarding fire safety comments response.</p> <p>REASON: To comply with Section 70(1)(a) of the Town and Country Act 1990 as amended and the Reason for Grant and also for the avoidance of doubt and in the interest of proper planning.</p>
3	<p>MATERIALS (DETAILS):</p> <p>CONDITION: For the hereby approved roof extension details and samples of all facing materials shall be submitted to and approved in writing by the Local Planning Authority prior to any superstructure work commencing on site. The details and samples shall include:</p> <p>a) brickwork (including photograph of brick type and mortar details)</p>

	<p>b) Roofing materials (including photograph of cladding material and front roof terrace balustrading treatment)</p> <p>b) Window details (including sections and reveals);</p> <p>c) Any other external materials (including balustrades) to be used.</p> <p>The development shall be carried out strictly in accordance with the details so approved and shall be maintained as such thereafter.</p> <p>The external alterations at ground floor shopfront which shall be constructed in accordance with the materials shown in the approved drawings and Design and Access Statement.</p> <p>REASON: In the interest of securing sustainable development and to ensure that the resulting appearance and construction of the development is of a high standard.</p>
4	Hours of Use – Roof Terrace (COMPLIANCE)
	<p>CONDITION: The hereby approved roof terrace shown on drawing PR(PL)208 RevA shall only be used during the following hours:</p> <p>Monday to Friday 09:00 to 21:00 hours and 12:00 to 19:00 hours on Saturdays, Sundays and bank holidays.</p> <p>REASON: In order to protect the amenity of neighbouring properties.</p>
5	FLAT ROOF NOT USED AS AMENITY SPACE (COMPLIANCE):
	<p>The flat roof areas allocated for green roof and plant equipment above the roof extension shown on plan no. PR(PL)208 RevA hereby approved shall not be used as an amenity or sitting out space of any kind whatsoever and shall not be used other than for essential maintenance or repair, or escape in case of emergency into perpetuity.</p> <p>REASON: In order to protect the amenity of neighbouring properties.</p>
6	Noise (Compliance):
	<p>CONDITION: The design and installation of new items of fixed plant shall be such that when operating the cumulative noise level LAeq Tr arising from the proposed plant, measured or predicted at 1m from the facade of the nearest noise sensitive premises, shall be a rating level of at least 5dB(A) below the background noise level LAF90 Tbg. The measurement and/or prediction of the noise should be carried out in accordance with the methodology contained within BS 4142:2014+A1:2019.</p> <p>The plant shall be checked upon installation and regularly checked, serviced and maintained in good condition to ensure noise levels do not rise or acoustic character such as tonality, intermittency, impulsivity or other acoustic character develop.</p> <p>REASON: In order to protect the amenity of neighbouring properties.</p>
7	Noise (Compliance):
	<p>CONDITION: Prior to the hereby approved plant equipment being used, a timer shall be installed limiting the operation of all plant to between the hours of 07:00 to 23:00 each day only. The plant shall not be operated outside of these hours. The timer shall be maintained as such thereafter.</p> <p>REASON: In order to protect the amenity of neighbouring properties.</p>
8	CLASS E(g)(i) - OFFICE USE ONLY (COMPLIANCE):
	<p>CONDITION: Notwithstanding the provisions of the Town and Country Planning (Use Classes) Order 1987 as amended by the Town and Country Planning (Amendment)(England) Regulations 2020, the extensions hereby approved shall be used only as an Office (Class E(g)(i) (or the equivalent use within any amended/updated subsequent Order) hereby approved, shall be limited to those uses and for no other purpose (including any other use within Class E(g)(i) of the Schedule to the Town and Country</p>

	<p>Planning (Amendment)(England) Regulations 2020, or any provision equivalent to that Class in any statutory instrument revoking and re-enacting that Order with or without modification without first obtaining planning consent from the Local Planning Authority.</p> <p>REASON: For the avoidance of doubt and to enable the Local Planning Authority to retain control over the development, in order to protect the supply of office floorspace in this Employment Area and Central Activities Zone location and retain control over the change of use of the building in the future. Due to the small and constrained nature of the borough, performance against the spatial strategy within the Development Plan including Finsbury Local Plan Policy BC8 is vitally important to ensure that targets to increase employment continue to be met for the borough as a whole.</p>
9	<p>PD Removed Class E to Residential (COMPLIANCE)</p> <p>CONDITION: Notwithstanding the provisions of Schedule 2, Part 3, Class MA the Town and Country Planning (General Permitted Development) Order 2015 (or any order revoking and re-enacting that Order with or without modifications), no change of use from Class E (commercial, business and service) to a use falling within Class C3 (dwellinghouses) shall take place without obtaining the express planning permission from the Local Planning Authority.</p> <p>REASON: For the avoidance of doubt and to ensure that the Local Planning Authority can restrict the use of the building to this specific use only, in order to protect the supply of office floorspace in this location.</p>
10	<p>Cycle Parking (COMPLIANCE)</p> <p>CYCLE PARKING: The bicycle storage areas at mezzanine floor level, as shown on approved plan number PR(PL)201, shall be provided prior to the use of the extensions hereby approved and maintained as such thereafter.</p> <p>The cycle ramps, storage and ancillary facilities shall be designed in accordance with guidance within Ch 8 of the London Cycling Design Standards.</p> <p>REASON: To ensure adequate cycle parking is available and easily accessible on site and to promote sustainable modes of transport.</p>
11	<p>Sustainable Design Construction Statement (Details)</p> <p>CONDITION: Prior to demolition and above ground works of the development hereby approved a Sustainable Design and Construction Statement shall be submitted and approved by the Local Planning Authority and shall demonstrate how the proposal meets the Councils Sustainable Design policies. The approved details shall be implemented in full and retained thereafter into perpetuity.</p> <p>The submitted details shall provide an Adaptive Design Strategy and demonstrate that a minimum 10% of the total value of materials used in the construction of the development has been derived from recycled and re-used content in the products and materials selected.</p> <p>REASON: In order to ensure a sustainable form of development.</p>
12	<p>LIGHTING (CONDITIONS):</p> <p>Details of measures to adequately mitigate light pollution from any areas of glazing within the 5th floor roof extension and to its outdoor terrace hereby approved shall be submitted to and approved in writing by the Local Planning Authority prior to occupation of the approved extensions. These measures are to include (but are not limited to):</p> <ul style="list-style-type: none"> - Lighting strategies that reduce the output of luminaires closer to the facades; - Light fittings controlled through the use of sensors.

	<p>The approved mitigation measures shall be implemented strictly in accordance with the approved details and shall be permanently maintained thereafter into perpetuity.</p> <p>REASON: In the interests of the residential amenities of the occupants of adjacent residential dwellings.</p>
13	<p>Accessible Measures (Compliance)</p>
	<p>CONDITION: Notwithstanding the plans hereby approved, and prior to the commencement of the development, the following inclusive design measures shall be included in the final design of the building and these shall be retained as such thereafter into perpetuity.</p> <p>i) The corridor plans must be updated to ensure at least 1200mm (without obstruction) are provided.</p> <p>ii) Revised floor plans must show a larger lifts that are fit for vertical circulation of cycles. The lifts should have minimum dimensions of 1.2 by 2.3 metres, with a minimum door opening of 1000mm, and any door to a cycle parking area should be automated, push button or pressure pad operated and designed to meet LCDS standards.</p> <p>iii) Revised sanitary provision on the 5th floor must be designed to be accessible and comply with Building Regulations Part M Vol 2 5.7 b)</p> <p>iv) WC provision must provide alternating transfer sides for new accessible to comply with Building Regulations Part M and BS8300-2:2018 18.1.2 or any superseded requirement.</p> <p>REASON: To ensure appropriate access is provided for disabled people, older people and others with mobility constraints.</p>
14	<p>Construction and Environmental Management Plan</p>
	<p>CONDITION: Prior to the commencement of the development a Construction and Environmental Management Plan (CEMP) shall be submitted to and approved in writing by the Local Planning Authority in consultation with TfL. The CEMP shall be prepared in accordance with Islington Council's Basement Development SPD (2016). The CEMP shall provide details in relation to:</p> <p>a) The notification of neighbours with regard to specific works;</p> <p>b) Advance notification of any access way, pavement, or road closures;</p> <p>c) Details regarding parking, deliveries and storage including details of the routing, loading, off-loading, parking and turning of delivery and construction vehicles and the accommodation of all site operatives', visitors' and construction vehicles during the construction period;</p> <p>d) Details regarding the planned construction vehicle routes and access to the site;</p> <p>e) Details regarding dust mitigation and measures to prevent the deposit of mud and debris on the public highway. No vehicles shall leave the site until their wheels, chassis and external bodywork have been effectively cleaned and washed free of earth, mud, clay, gravel, stones or any other similar substance;</p> <p>f) Details of waste storage within the site to prevent debris on the surrounding estate and the highway and a scheme for recycling/disposing of waste resulting from demolition and construction works;</p> <p>g) The proposed hours and days of work (with reference to the limitations of noisy work which shall not take place outside the hours of 08.00-18.00 Monday to Friday, 08.00-13.00 on Saturdays, and none on Sundays or Bank Holidays.)</p> <p>h) Details of any proposed external illumination and/or floodlighting during construction, including positions and hours of lighting;</p> <p>i) Details of measures taken to prevent noise disturbance to surrounding residents;</p> <p>j) Information on access and security measures proposed to prevent security breaches at the existing entrances to the site, to prevent danger or harm to the neighbouring residents, and to avoid harm to neighbour amenity caused by site workers at the entrances to the site;</p> <p>k) Details addressing environmental and amenity impacts (including (but not limited to) noise, air quality, smoke and odour, vibration and TV reception)</p>

	<p>l) Details as to how safe and convenient vehicle access will be maintained for all existing vehicle traffic using Clerkenwell Road and St Johns Street at all times, including emergency service vehicles;</p> <p>m) Details of any construction compound including the siting of any temporary site office, toilets, skips or any other structure; and</p> <p>n) Details of any further measures taken to limit and mitigate the impact of construction upon the operation of the highway and the amenity of the area.</p> <p>o) Details of measures taken to minimise the impacts of the construction process on air quality, including NRMM registration.</p> <p>p) Measures to protect the existing carriageway/footway</p> <p>q) bat survey</p> <p>The demolition and development shall thereafter be carried out in accordance with the approved details and measures.</p> <p>The development shall be carried out strictly in accordance with the details so approved and no change therefrom shall take place without the prior written consent of the Local Planning Authority.</p> <p>REASON: In order to secure the safe and efficient operation of the highway network, local residential amenity and to mitigate the impacts of the development.</p>
15	<p>NRMM Compliance</p>
	<p>No non-road mobile machinery (NRMM) shall be used on the site unless it is compliant with the NRMM Low Emission Zone requirements (or any superseding requirements) and until it has been registered for use on the site on the NRMM register (or any superseding register).</p> <p>Reason: To ensure that air quality is not adversely affected by the development in line with London Plan policy SI 1 and the Mayor's SPG: The Control of Dust and Emissions During Construction and Demolition.</p>
16	<p>Green Roof (DETAILS)</p>
	<p>CONDITION: Notwithstanding the plans hereby approved, green/brown roofs shall be maximised across the development. Details shall be submitted to and approved in writing to the Local Planning Authority prior to practical completion of the development hereby approved, demonstrating the following:</p> <p>a) how the extent of green/brown roof has been maximised;</p> <p>b) that the green/brown roofs are biodiversity based with extensive substrate base (depth 120 - 150mm); and</p> <p>c) planted/seeded with a mix of species within the first planting season following the practical completion of the building works (the seed mix shall be focused on wildflower planting, and shall contain no more than a maximum of 25% sedum).</p> <p>The biodiversity (green/brown) roof shall not be used as an amenity or sitting out space of any kind whatsoever and shall only be accessed for the purpose of essential maintenance or repair, or escape in case of emergency. The biodiversity roofs shall be installed strictly in accordance with the details as approved, shall be laid out within 3 months or the next available appropriate planting season after completion of the external development works / first occupation, and shall be maintained as such thereafter.</p> <p>REASON: In order to ensure the development maximises opportunities to help boost biodiversity and minimise water run-off.</p>
17	<p>Bird Boxes (DETAILS)</p>
	<p>CONDITION: Prior to the commencement of the hereby approved development, details of appropriate bird/bat box locations shall be submitted to and approved in writing by the Local Planning Authority. The details shall include information and investigation by a suitably qualified ecologist of the most suitable locations for bird and/or bat boxes. The approved details shall be implemented in full and retained thereafter.</p>

	<p>REASON: To provide suitable nesting locations in accordance with the Council's biodiversity objectives.</p>
18	<p>BREEAM Excellent (COMPLIANCE)</p> <p>CONDITION: Prior to occupation of any part of the approved extensions a final code certificate shall be obtained confirming the development hereby permitted has achieved a minimum BREEAM New Construction rating of 'Excellent'.</p> <p>REASON: To ensure that the development has an acceptable level of sustainability and in the interest of addressing climate change.</p>
19	<p>Sustainable Urban Drainage System (Details)</p> <p>CONDITION: Details of surface drainage works shall be submitted to and approved in writing by the Local Planning Authority prior to any demolition or above ground works commencing on site. The details shall be based on an assessment of the potential for disposing of surface water by means of sustainable drainage system The submitted details shall include the scheme's peak runoff rate and storage volume and demonstrate how the scheme will achieve at least a 50% attenuation of the undeveloped site's surface water run off at peak times. The drainage system shall be installed/operational prior to the first occupation of the development.</p> <p>The development shall be carried out strictly in accordance with the details so approved and shall be maintained as such thereafter.</p> <p>REASON: To manage the water environment of the development and mitigate the impact on flood risk, water quality, habitat and amenity value</p>
20	<p>CIRCULAR ECONOMY (DETAILS)</p> <p>CONDITION: Prior to the commencement of works, details of an Adaptive Design Strategy shall be submitted to, and approved in writing by, the Local Planning Authority.</p> <p>The submitted Adaptive Design Strategy shall demonstrate that the hereby approved development has been designed to</p> <ul style="list-style-type: none"> a) last as long as possible and suit its anticipated lifespan – the strategy must specify the intended overall design life of all buildings in the development; b) avoid construction waste and the unnecessary demolition of structures; c) be built in layers to allow elements of buildings to be replaced overtime, supporting a modular design; d) be adaptable – the plan form, layout and structure enables the building to be adapted to respond to change and/or adapted for various uses throughout its life; e) enable ease of deconstruction - building materials, components and products can be disassembled and re-used at the end of their useful life; and f) maximise the re-use and/or recycling of all materials arising from demolition and remediation works. <p>REASON: Required prior to commencement to ensure the scheme achieves the sustainability targets required by local policy.</p>
21	<p>Secure by Design</p> <p>The development shall be constructed and operated thereafter to 'Secured by Design Standards'. A certificate of accreditation to Secured by Design Standards shall be submitted to the local planning authority for approval in writing prior to the occupation of the extensions hereby approved.</p> <p>Reason: To ensure that the development maintains and enhances community safety.</p>

22	Fire Safety (Details)
	<p>Prior to the commencement of the development hereby permitted, an updated Fire Safety Statement shall be submitted to and approved in writing by the local planning authority in consultation with the Councils Building Control team. The updated Fire safety Statement shall include full details of construction methods, materials and means of escape.</p> <p>Reason: In the interests of fire safety and to ensure the safety of all building users.</p>

List of Informatives:

1	The Building Acts and Building Regulations
	<p>To ensure compliance with the Building Acts and Building Regulations, you should contact the Building Control Service regarding the development and any intended works. T 020 7527 5999 E building.control@islington.gov.uk</p>
2	Accessibility
	<p>The London Plan, Islington's Local Plan and relevant Supplementary Planning Documents and Part M of the Building Regulations require the creation/maintenance of an Inclusive Environment.</p> <p>If you require any further information or advice on the application of the principles of Inclusive Design contact the Inclusive Design officers T 020 7527 2394 E planning@islington.gov.uk</p> <p>Other applicable standards and design guidance are set out in: Inclusive Design in Islington SPD www.islington.gov.uk/inclusivedesign Streetbook SPD www.islington.gov.uk/streetbook Islington's Inclusive Landscape Design SPD www.islington.gov.uk/DownloadableDocuments/Environment/Pdf/ldf_pack/Inclusive_LandscapeDesign_SPD_January_2010.pdf BS8300:2009 – Design of buildings and their approaches to meet the needs of disabled People. Inclusive Mobility: www.dft.gov.uk/publications/inclusive-mobility Approved Document M – Access to and use of buildings (Volume 1 Dwellings and Volume 2 buildings other than dwelling) https://assets.publishing.service.gov.uk/government/uploads/system/uploads/attachment_data/file/990362/Approved_Document_M_vol_2.pdf</p> <p>Regardless of any Planning or Building Regulations approval your client and or future occupant may have duties under the Equalities Act 2010 (which supersedes the Disability Discrimination Act). Those duties include taking all reasonable steps to ensure a disabled person experiences no less favourable treatment, which will have implications for the design and management of premises see: https://www.equalityhumanrights.com/en/multipage-guide/employing-people-workplace-adjustments</p>
4	Car-Free Development
	<p>INFORMATIVE: (Car-Free Development) All new developments are car free in accordance with Policy CS10 of the Islington Core Strategy 2011 and Draft Local Plan policy T3. This means that no parking provision will be allowed on site and occupiers will have no ability to obtain car parking permits, except for parking needed to meet the needs of disabled people.</p>
6	Roller Shutters
	<p>ROLLER SHUTTERS The scheme hereby approved does not suggest the installation of external roller shutters to any entrances or to the ground floor glazed shopfront. The applicant is advised that the</p>

	<p>council would consider the installation of external roller shutters to be a material alteration to the scheme and therefore constitute development. Should external roller shutters be proposed a new planning application must be submitted for the council's formal consideration.</p>
7	<p>Highways</p> <p>In order to comply with all provisions of the Traffic Management Act (2004), Highways Act (1980), New Roads and Streetworks Act (1991) and/or other Highways matters, you should contact: T 020 7527 2000 E public.realm@islington.gov.uk</p> <p>There are various standards, guidance and licenses:</p> <p>Hoardings, scaffolding, skips, overhanging structures, temporary crossover licenses and haulage routes and the like are regulated by the Streetworks Team. T 020 7527 2000 E streetworks@islington.gov.uk</p> <p>Tables and chairs licensing are regulated by the Street Trading Team. T 020 7527 2000 E street.trading@islington.gov.uk</p> <p>Parking suspensions require a minimum of 2 weeks notice. T 020 7527 2000 E parkingsuspensions@islington.gov.uk</p> <p>Any joint conditions survey required between Islington Council Highways and interested parties before commencement of building work T 020 7527 2000 E public.realm@islington.gov.uk</p> <p>Please note any damage to the public highway, or, any asset forming part of the public highway (including lighting, drainage and street furniture), alterations to road markings or parking layouts (must be agreed by Traffic and Parking) will be paid for by the developer.</p> <p>All works to the public highway, unless otherwise legally agreed, must be undertaken by London Borough of Islington Highways Service. Works to the public highway will not commence until hoarding and major works around the development has been removed/completed. Before works commence on the public highway, the planning applicant must provide Islington Council's Highways Service with six months notice. All new statutory services must be complete prior to footway and/or carriageway works commencing.</p> <p>All lighting works to be conducted by Islington Council Highways Lighting (or the PFI contractor) and not a nominee of the developer. Any proposed changes to lighting layout must meet the approval of Islington Council Highways Lighting. Consideration should be taken to protect the existing lighting equipment within and around the development site. T 020 7527 2000 E streetlights@islington.gov.uk</p> <p>Public highway, footway and carriageway crossfalls, will not be permitted to drain water onto private land or private drainage and vice versa.</p>
	<p>Trees</p> <p>Any Street trees which are the subject of a Tree Preservation Order or within a conservation area may not be lopped, felled, uprooted or wilfully damaged without permission. Should you wish to undertake any such works contact the Tree Service. Email: planning@islington.gov.uk</p>
	<p>Nuisance from Construction Work</p> <p>Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on</p>

	<p>Saturday and not at all on Sundays and Public Holidays. You are advised to consult the Pollution Team, Islington Council, 222 Upper Street London N1 1XR, or seek prior approval under Section 61 of the Act if you anticipate any difficulty in carrying out construction other than within the hours stated above.</p> <p>T 020 7527 3258 E pollution@islington.gov.uk</p>
	<p>Fire Precautions</p>
	<p>If you require continued maintenance of fire precautions in existing buildings where no building work is planned contact the London Fire Brigade.</p> <p>Address: Hackney, Islington & City FRS Team, London Fire Brigade, 3rd Floor Shoreditch Fire Station, Old Street, London, EC1V 9EY.</p>

APPENDIX 2: RELEVANT POLICIES

This appendix lists all relevant development plan policies and guidance notes pertinent to the determination of this planning application.

1 National Guidance

The National Planning Policy Framework 2019 seeks to secure positive growth in a way that effectively balances economic, environmental and social progress for this and future generations. The NPPF is a material consideration and has been taken into account as part of the assessment of these proposals.

2. Development Plan

The Development Plan is comprised of the NPPF (2021), the London Plan 2021, Islington Core Strategy 2011, Development Management Policies 2013, Finsbury Local Plan 2013 and Site Allocations 2013. The following policies of the Development Plan are considered relevant to this application:

A) The London Plan 2021 - Spatial Development Strategy for Greater London

- Policy SD4** The Central Activities Zone
- Policy SD5** Offices, other strategic functions and residential development in the CAZ
- Policy D1** London's form, character and capacity for growth
- Policy D3** Optimising site capacity through the design-led approach
- Policy D4** Delivery good design
- Policy D5** Inclusive design
- Policy D8** Public realm
- Policy D12** Fire safety
- Policy D13** Agent of Change
- Policy D14** Noise
- Policy E1** Offices
- Policy E2** Providing suitable business space
- Policy HC1** Heritage conservation and growth
- Policy G6** Biodiversity and access to nature
- Policy SI1** Improving air quality
- Policy SI2** Minimising greenhouse gas emissions
- Policy SI7** Reducing waste and supporting the circular economy Policy
- Policy SI13** Sustainable drainage
- Policy T3** Transport capacity, connectivity and safeguarding
- Policy T5** Cycling
- Policy T6** Car parking
- Policy T6.2** Office parking
- Policy T7** Deliveries, servicing and construction

B) Islington Core Strategy 2011

Spatial Strategy

- Policy CS8 Enhancing Islington's Character

Strategic Policies

- **Policy CS 8** – Enhancing Islington's character
- **Policy CS9** Protecting and Enhancing Islington's Built and Historic Environment
- **Policy CS10** Sustainable Design
- **Policy CS11** Waste
- **Policy CS13** Employment Space

C) Development Management Policies June 2013

Design and Heritage

- **DM2.1** Design

Transport

- DM8.2** Managing transport impacts

- **DM2.2** Inclusive Design
- **DM2.3** Heritage

Employment

- **DM5.1** New business floorspace
- **DM5.2** Loss of existing business floorspace
- **DM5.4** Size and affordability of workspace

Health and open space

- **DM6.1** Healthy development
- **DM6.5** Landscaping, trees and biodiversity

Energy and Environmental Standards

- **DM7.1** Sustainable design and construction statements
- **DM7.2** Energy efficiency and carbon reduction in minor schemes
- **DM7.4** Sustainable design standards
- **DM7.5** Heating and cooling

Infrastructure

- **DM9.2** Planning obligations

- DM8.4** Walking and cycling
- DM8.5** Vehicle parking
- DM8.6** Delivery and servicing for new developments

D) Finsbury Local Plan 2013 Area Action Plan for Bunhill & Clerkenwell

Policy BC7 Historic Clerkenwell

Policy BC8 Achieving a balanced mix of uses

Policy BC9 Tall buildings and contextual considerations for building heights

E) DRAFT Islington Local Plan

Policy PLAN1: Site appraisal, design principles and process

Policy SP1: Bunhill and Clerkenwell

Policy B2 New business floorspace

Policy G4 Biodiversity, landscape design and trees

Policy G5 Green roofs and vertical greening

Policy S1 Delivering Sustainable Design

Policy S2 Sustainable Design and Construction

Policy S3 Sustainable Design Standards

Policy S4 Minimising greenhouse gas emissions

Policy S5 Energy Infrastructure

Policy S6 Managing heat risk

Policy S7 Improving Air Quality

Policy S9 Integrated Water Management and Sustainable Drainage

Policy S10 Circular Economy and Adaptive Design

Policy T2 Sustainable Transport Choices

Policy T3 Car-free development

Policy T5 Delivery, servicing and construction

Policy DH1 Fostering innovation while protecting heritage

Policy DH2 Heritage assets

Policy DH3 Building heights

Policy DH5 Agent-of-change, noise and vibration

F) DRAFT Bunhill and Clerkenwell Area Action Plan 2019

2. Area wide policies

Policy BC1 Prioritising office use

3. Area Spatial Strategies

Policy BC8 Historic Clerkenwell

3. Designations

The site has the following designations under the London Plan 2021, Islington Core Strategy 2011, Development Management Policies 2013, Finsbury Local Plan 2013 and Site Allocations 2013:

- Core Strategy Key Area – Bunhill & Clerkenwell;
- Conservation Area – Clerkenwell Green CA1
- Archaeological Priority Area
- Central Activity Zone (CAZ);
- Employment Priority Area (General);
- Finsbury Local Plan Area – Bunhill & Clerkenwell;
- Article 4 Direction A1-A2 (Rest of Borough);
- Article 4 Direction B1(c) to C3;
- Heathrow Safeguarding Area.

6. Supplementary Planning Guidance (SPG) / Document (SPD)

The following SPGs and/or SPDs are relevant:

Islington Local Development Plan

- Environmental Design
- Urban Design Guide
- Clerkenwell Green CADG

London Plan

- Sustainable Design & Construction
- Planning for Equality and Diversity in London